



TANEY COUNTY PLANNING COMMISSION

P. O. Box 383 • Forsyth, Missouri 65653

Phone: 417 546-7225 / 7226 • Fax: 417 546-6861

website: www.taneycounty.org

AGENDA
TANEY COUNTY PLANNING COMMISSION
PUBLIC HEARING
MONDAY, FEBRUARY 9, 2015, 6:00 P.M.
COUNTY COMMISSION HEARING ROOM
TANEY COUNTY COURTHOUSE

Call to Order:

Establishment of Quorum
Explanation of Meeting Procedures
Presentation of Exhibits

Public Hearing:

Echo Hollow Estates

Old and New Business:

2014 Annual Report
Code Update discussion

Adjournment.



TANEY COUNTY PLANNING COMMISSION

DIVISION III PERMIT & MAJOR SUBDIVISION STAFF REPORT

HEARING DATE: February 9, 2015

CASE NUMBER: 2015-0001

PROJECT: Echo Hollow Estates

APPLICANT: Valleystream Development, LLC

REPRESENTATIVE: Tim Freund

LOCATION: The subject property is located south of State Highway 165 and immediately west of Cedar Glade Road, Hollister, MO; Oliver Township; Section 24, Township 22, Range 22.

REQUEST: The applicant, Valleystream Development, LLC is seeking the approval of a Major Subdivision plat for Echo Hollow Estates, a twenty-four (24) lot subdivision; while also requesting the approval of a Division III Permit authorizing a nightly rental land-use for any of the twenty-four (24) lots in question.

BACKGROUND and SITE HISTORY:

On September 11, 1992 the Planning Commission approved Division III Permit 1992-0126A, authorizing the development of an RV Park and a commercial subdivision on a total of approximately 77.5 total acres; referenced as the Wilderness Club RV Resort, Inc. Approximately 66.5 acres were located on the south side of State Highway 165, with 11 acres being located on the north side of State Highway 165. On June 22, 1994 the plat of the Wilderness Club RV Resort was signed by the Planning Department staff and filed with the Taney County Recorder of Deeds office.

On August 21, 1995 the Planning Commission denied the request by Pine Woods Village to rezone approximately 21.52 acres to develop up to 104 single family lots for cabin style homes. The primary concern noted dealt with density. On September 20, 1995 the Board of Adjustment granted an appeal to denial issued by the Planning Commission, authorizing the development of the Pine Wood Village.

The approximately 8.77 acre tract of land in question is shown on maps from both of the two previous Division III Permit files but appears to be shown in each file as a future phase of the development.

GENERAL DESCRIPTION:

The proposed 24 lot, Echo Hollow Estates subdivision will be located on a total of +/- 8.77 acres (per the Assessor's Information - Beacon). The applicant is seeking Planning Commission preliminary plat approval, allowing for the creation of the 24 lot Major Subdivision. The applicant is further seeking Planning Commission approval of a Division III Permit authorizing the nightly rental of twenty-four (24) log cabins that would be constructed on the lots within Echo Hollow Estates subdivision. The applicant has indicated that the log homes will range in size from approximately 1,500 to 2,500 square feet.

REVIEW:

On July 19, 2012 the Taney County Commission adopted the Subdivision Regulations for Taney County which removed and separated the subdivision regulations from the Development Guidance Code. Per the provisions of the Subdivision Regulations an Administrative Minor Subdivision is a division of land, into tracts less than ten (10) acres in size, with not more than a total of six (6) tracts. Therefore a Major Subdivision is classified as any division of land into tracts less than 10 acres in size which does not fall within the classification of administrative minor subdivision. Echo Hollow Estates is considered a Major Subdivision requiring the plat approval of the Planning Commission. Per the provisions of Missouri Revised Statute and the Subdivision Regulations, preliminary plat approval shall be based upon the plat's compliance with the provisions of the subdivision regulations.

The twenty-four (24) lots within Echo Hollow Estates will be served by an existing Taney County Regional Sewer District main and an existing community well. The required, minimum lot size for lots served via public sewer is 8,000 square feet, with a minimum road frontage of 70 feet per lot. All of the lots indicated on the submitted sketch plan will meet the minimum lot size and road frontage requirements.

The road rights-of-way serving the subdivision have been cleared for a number of years (the 2006 aerial photography via Beacon indicates some level of clearing) and the water mains, sewer mains and electrical services has been put in place adjoining the future roadways. However, prior to Final Plat approval, the applicant shall either install all of the required public improvements or provide an appropriate security in compliance with the provisions of Article 8 of the Subdivision Regulations (Performance Bond from a qualified insurance or bonding company, an Irrevocable Letter of Credit from a certified lending institution or cash bond for 110% of the costs associated with the construction of the improvements). The representative has submitted an engineering grading, roadway, storm drainage, sanitary sewer and water plans

Per the provisions of the Taney County Road Standards, Echo Hollow Estates will be considered a High Density Residential Subdivision, requiring a 50' right-of-way and a 31' roadway width for all new subdivision roads. The road surface shall be either asphalt or concrete.

The representative is proposing a green space area that will be maintained via a property owners association.

The Taney County Development Guidance Code defines nightly rental as “A residential building, structure, or part thereof that may be rented for any period of time less than thirty (30) days, counting portions of days as full days.” Currently, the applicant would have the ability to rent any of the twenty-four (24) residences for a period of thirty (30) days or greater.

Per the nightly rental provisions of the Development Guidance Code, “The maximum occupancy for a Nightly Rental shall be two (2) persons per dwelling unit, plus two (2) persons per bedroom.” Therefore, the three (3) bedroom home would have a maximum occupancy of eight (8) people.

Per the nightly rental provisions of the Development Guidance Code, “One (1) off-street parking space shall be provided for each two (2) persons of occupancy in a Nightly Rental.” Therefore a total of four (4) parking spaces will be required. The residence is currently served by a two (2) car attached garage and a parking area large enough to accommodate the additional two (2) cars. The property will meet the minimum parking requirements of the Development Guidance Code. The representative is proposing a parking easement that will be contained within an existing 100’ wide power line easement, to allow for overflow parking for such items as boat and recreational vehicles, as indicated on the Sketch Plan.

The adjoining property immediately to the north is a vacant tract of land owned by Wilderness Club, Inc. The adjoining property immediately to the south is the Pinewoods Village, a residential subdivision. The adjoining property immediately to the east is the Wilderness Club RV Resort. The adjoining property immediately to the west is a vacant tract of land within the municipal limits of Hollister.

The project received a score of -5 on the Policy Checklist, out of a maximum possible score of 57. The relative policies receiving a negative score consist of emergency water supply, solid waste disposal service, pedestrian circulation and traffic.

The staff recommends that two separate votes be conducted regarding this proposal. The first vote will need to be taken regarding preliminary plat approval for Echo Hollow Estates, based upon its compliance with the provisions of the Subdivision Regulations. The second vote will be in regard to the Division III Permit authorizing the nightly rental land-use.

STAFF RECOMMENDATIONS:

If the Taney County Planning Commission approves the Preliminary Plat for the Echo Hollow Subdivision, the following requirements shall apply, unless revised by the Planning Commission:

1. The applicant shall submit a report signed and sealed by a registered engineer, in compliance with Article 6, Section 4 of the Subdivision Regulations, prior to receiving final plat Approval. The Engineer's report shall include the following items:
 - a. Stormwater Drainage
 - b. Water Supply
 - c. Wastewater Disposal
 - d. Traffic Analysis / Street Capacity
2. The final plat shall be filed with the Taney County Recorder of Deeds within two (2) years of the date of approval of the preliminary plat. The final plat may be submitted in phases with each phase covering a portion of the approved preliminary plat. If the final plat is submitted in successive phases the developer will have one year after each phase to record the final plat of the next phase. The Planning Commission may grant an extension of time for final plat submission if it finds that the conditions on which the preliminary plat was approved have not changed substantially.
3. All of the require improvements as enumerated within Article 8 of the Subdivision Regulations shall either be installed or an appropriate security (Performance Bond from a qualified insurance or bonding company, an Irrevocable Letter of Credit from a certified lending institution or cash bond for 110% of the costs associated with the construction of the improvements) shall be provided to the Planning Department Office.
4. Compliance letters from the Missouri Department of Natural Resources, the Taney County Regional Sewer District, the Taney County Road & Bridge Department and the electric cooperative owning the power existing power easement shall be provided to the Planning Department office.(Chapter VI-VII)
5. All roads within Echo Hollow Estate shall be constructed in compliance with the Taney County Road Standards.
6. Division I Permits will be required for all applicable structures in the development (Chapter 3 Sec. I Item B).
7. Prior to the issuance of Division I Permits, the applicants shall ensure that the applicable sewer and water connections are in place.
8. This decision is subject to all existing easements.
9. This Decision of Record shall be filed with the Taney County Recorder of Deeds Office within 120 days or the approval shall expire (Chapter II Item 6).

STAFF RECOMMENDATION:

If the Taney County Planning Commission approves the Division III Permit authorizing the nightly rental of the twenty-four (24) units within Echo Hollow Estates, the following requirements shall apply, unless revised by the Planning Commission:

1. Compliance with the provisions of the Taney County Development Guidance Code.
2. Compliance letters from the Western Taney County Fire Protection District and the Missouri Department of Revenue; including all other entities which have requirements governing a development of this nature shall be provided to the Planning Department office.(Chapter VI-VII)
3. A valid Missouri Department of Revenue Sales Tax License shall be provided to the Planning Department prior to the issuance of a Certificates of Compliance.
4. No outside storage of equipment or solid waste materials.
5. This decision is subject to all existing easements.
6. All residences utilized for nightly rental shall accommodate (sleep) no more than two (2) persons per dwelling unit, plus two (2) persons per bedroom. The total occupancy may be further limited based upon the provisions of the Western Taney County Fire Protection District requirements and regulations.
7. One (1) off-street parking space shall be provided for each two (2) persons of occupancy within each Nightly Rental cabin.
8. This Decision of Record shall be filed with the Taney County Recorder's Office within 120 days or the approval shall expire (Chapter II Item 6).

**Division III Relative Policy Scoring Sheet:
Western Taney County**

Performance Value	Importance Factor	Score	Section Score
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Water Quality

SEWAGE DISPOSAL	n/a=			
centralized system	2	5	2	10
on-site treatment system(s) with adequate safeguards to mitigate pollution	1			
septic system of adequate design and capacity	0			
proposed system may not provide adequate capacity	-1			
proposed solution may cause surface and/or ground water pollution	-2			

Environmental Policies

SOIL LIMITATIONS	n/a=			
no known limitations	0	3	0	0
potential limitations but mitigation acceptable	-1			
mitigation inadequate	-2			

SLOPES	n/a=			
NOTE: if residential, mark "x" in box.....				
development on slope under 30%	0	4	0	0
slope exceeds 30% but is engineered and certified	-1			
slope exceeds 30% and not engineered	-2			

WILDLIFE HABITAT AND FISHERIES	n/a=			
no impact on critical wildlife habitat or fisheries issues	0	2	0	0
critical wildlife present but not threatened	-1			
potential impact on critical wildlife habitat or fisheries	-2			

AIR QUALITY	n/a=			
cannot cause impact	0	2	0	0
could impact but appropriate abatement installed	-1			
could impact, no abatement or unknown impact	-2			

Land Use Compatibility

OFF-SITE NUISANCES	n/a=			
no issues or nuisance(s) can be fully mitigated	0	5	0	0
buffered and minimally mitigated	-1			
cannot be mitigated	-2			

Compatibility Factors

USE COMPATIBILITY	n/a=			
no conflicts / isolated property	0	4	0	0
transparent change / change not readily noticeable	-1			
impact readily apparent / out of place	-2			

Division III Relative Policy Scoring Sheet:
Western Taney County

	Performance Value	Importance Factor	Score	Section Score
LOT COVERAGE n/a=				
lot coverage compatible with surrounding areas	0	1	0	0
lot coverage exceeds surrounding areas by less than 50%	-1			
lot coverage exceeds surrounding areas by more than 50%	-2			
BUILDING BULK AND SCALE n/a=				
bulk / scale less than or equivalent to surrounding areas	0	3	0	0
bulk / scale differs from surrounding areas but not obtrusive	-1			
bulk / scale significantly different from surrounding areas / obtrusive	-2			
BUILDING MATERIALS n/a=				
proposed materials equivalent to existing surrounding structures	0	2	0	0
proposed materials similar and should blend with existing structures	-1			
materials differ from surrounding structures and would be noticeable	-2			
STRUCTURAL SCREENING OF ROOFTOP EQUIPMENT & VENTS n/a=	x			
no rooftop equipment or vents	2	1		
blocked from view by structure design	1			
blocked from view using screening	0			
partially blocked from view	-1			
exposed / not blocked from view	-2			
STRUCTURAL SCREENING OF SOLID WASTE CONTAINERS n/a=	x			
no on-site waste containers	2	3		
blocked from view by structure design	1			
blocked from view using screening	0			
partially blocked from view	-1			
exposed / not blocked from view	-2			
STRUCTURAL SCREENING OF OUTDOOR EQUIP, STORAGE, ETC. n/a=	x			
no outdoor storage of equipment, materials, etc., or outdoor work areas	2	3		
blocked from view by structure design	1			
blocked from view using screening	0			
partially blocked from view	-1			
exposed / not blocked from view	-2			
LANDSCAPED BUFFERS -- RESIDENTIAL n/a=				
approved landscaped buffer between homes and all streets / roads / highways	2	2	0	0
approved landscaped buffer from major roads / highways only	1			
minimal landscaped buffer, but compensates with expanse of land	0			
no landscaped buffer between residences and local streets	-1			
no landscaped buffer from any road	-2			

**Division III Relative Policy Scoring Sheet:
Western Taney County**

	Performance Value	Importance Factor	Score	Section Score
LANDSCAPED BUFFERS - INDUSTRIAL	n/a= x			
approved landscaped buffer from public roads	0	3		
minimal landscaped buffer, but compensates with expanse of land	-1			
no landscaped buffer from public roads	-2			
Local Economic Development				
RIGHT TO FARM	n/a= x			
does not limit existing agricultural uses / does not cause nuisance, predation	0	3		
does not limit existing agricultural uses, but may result in minor nuisance	-1			
potential impact(s) on existing agricultural land	-2			
RIGHT TO OPERATE	n/a= x			
no viable impact on existing industrial uses by residential development	0	3		
potential impact but can be mitigated	-1			
potential impact on existing industrial uses with no mitigation	-2			
DIVERSIFICATION	n/a= x			
creates >=5 full-time, year-round jobs outside of recreation / resort sector	2	5		
creates full-time, year-round and seasonal jobs	1			
creates seasonal jobs only	0			
Site Planning, Design, Occupancy				
RESIDENTIAL PRIVACY	n/a=			
privacy provided by structural design, or not applicable	2	2	0	0
privacy provided by structural screening	1			
privacy provided by landscaped buffers	0			
privacy provided by open space	-1			
no acceptable or effective privacy buffering	-2			
MIXED-USE DEVELOPMENTS	n/a= x			
uses / functions are compatible or not applicable	2	3		
uses / functions are integrated and separated based on compatibility	1			
uses / functions differ minimally and are not readily apparent	0			
uses / functions poorly integrated or separated	-1			
uses / functions mixed without regard to compatibility factors	-2			
Commercial Development				
DEVELOPMENT PATTERNS	n/a= x			
clustered development / sharing of parking, signs, ingress, egress, or not applicable	2	3		
some clustering and sharing patterns with good separation of facilities	1			
some clustering and sharing patterns with minimal separation of facilities	0			
clustered development with no appreciable sharing of facilities	-1			
unclustered development with no sharing or ability to share facilities	-2			

**Division III Relative Policy Scoring Sheet:
Western Taney County**

	Performance Value	Importance Factor	Score	Section Score
DEVELOPMENT BUFFERING	n/a=			
approved and effectively designed landscaped buffers between structures and all roads	2	3	0	0
minimal landscaped buffering, but compensates with expanse of land	1			
minimal landscaped buffering	0			
no landscaped buffering, but utilizes expanse of land	-1			
no or inadequate buffering or separation by land	-2			
Services - Capacity and Access				
TRAFFIC	n/a=			
no impact or insignificant impact on current traffic flows	0	2	-1	-2
traffic flow increases expected but manageable using existing roads and road accesses	-1			
traffic flow increases exceed current road capacities	-2			
EMERGENCY SERVICES	n/a=			
structure size and/or access can be serviced by emergency equipment	0	5	0	0
structure size and/or access may impede but not hinder serviceability	-1			
structure size and/or access could be problematic or non-serviceable	-2			
RIGHT-OF-WAY OF EXISTING ROADS	n/a=			
greater than 50 ft. right-of-way	1	5	0	0
50 ft. right-of-way	0			
40 ft. right-of-way	-1			
less than 40 ft. right-of-way	-2			
Internal Improvements				
WATER SYSTEM SERVICE	n/a=			
central water system meeting DNR requirements for capacity, storage, design, etc.	2	3	2	6
community well / water system meeting DNR requirements	1			
private wells meeting DNR requirements	0			
private wells not meeting any established standards	-1			
individual / private wells	-2			
EMERGENCY WATER SUPPLY	n/a=			
fire hydrant system throughout development with adequate pressure and flow	0	5	-2	-10
fire hydrant system with limited coverage	-1			
no fire hydrant system	-2			
PEDESTRIAN CIRCULATION INFRASTRUCTURE	n/a=			
paved and dedicated walkways (no bicycles) provided throughout development	2	4	-1	-4
paved walkways provided throughout development / maybe shared with bicycles	1			
designated walkways provided but unpaved	0			
no pedestrian walkways, but green space provided for pedestrian use	-1			
no designated pedestrian walkway areas	-2			

Echo Hollow Estates - Nightly Rental Subdivision		Permit#:	15-01		
Division III Relative Policy Scoring Sheet: Western Taney County		Performance Value	Importance Factor	Score	Section Score
PEDESTRIAN SAFETY		n/a=			
separation of pedestrian walkways from roadways by landscape or structural buffer	2	2	0	0	
separation of pedestrian walkways from roadways by open land buffer	1				
pedestrian walkways abut roadways with no buffering / protection	0				
BICYCLE CIRCULATION		n/a=			
dedicated / separate bike-ways with signage, bike racks, trails	2	1	0	0	
bicycle lanes shared with pedestrian walkways but separated by markings / signs	1				
no designated bike-ways	0				
UNDERGROUND UTILITIES		n/a=			
all utilities are provided underground up to each building / structure	2	4	0	0	
all utilities traverse development underground but may be above ground from easement	1				
utilities above ground but / over designated easements	0				
utilities above ground and not within specific easements	-1				
no specific management of utilities	-2				
Open-Space Density					
USABLE OPEN SPACE		n/a=	x		
residential developments (>25 units) include more than 25% open recreational space	2	2			
residential developments (>25 units) offer >10% but <25% open recreational space	1				
recreational area provided, but highly limited and not provided as open space	0				
no designated recreational space provided, but open space available	-1				
no open recreational space provided	-2				
Solid Waste Disposal					
SOLID WASTE DISPOSAL SERVICE AVAILABILITY		n/a=			
weekly service is available and documentation of availability provided	0	5	-1	-5	
weekly service reportedly available but not documented	-1				
centralized, on-site trash collection receptacles available	-2				
SOLID WASTE DISPOSAL SERVICE COMMITMENT		n/a=	x		
restrictive covenants provide for weekly disposal for each occupied structure	0	5			
services available but not a requirement documented in covenants	-1				
not applicable / no pick-up service provided	-2				

Total Weighted Score= -5

Maximum Possible Score= 57

Actual Score as Percent of Maximum= -8.8%

Number of Negative Scores= 4

Negative Scores as % of All Applicable Scores= 17.4%

Scoring Performed by:

Bob Atchley / Bonita Kissee-Souttee

Date:

January 28, 2015

Project: Echo Hollow Estates - Nightly Rental Subdivision

Permit#: 15-01

Policies Receiving a Negative Score	
Importance Factor 5:	emergency water supply waste disposal service
Importance Factor 4:	pedestrian circulation
Importance Factor 3:	none
Importance Factor 2:	traffic
Importance Factor 1:	none

Scoring by: Bob Atchley / Bonita Kisse-Soutee

Date: January 28, 2015

Project: Echo Hollow Estates - Nightly Rental Subdivision Permit: 15-01

	Max. Possible	As Scored	%	Total Negative Scores	
Scoring	57	-5	-8.8%	4	17.4%

	Max. Possible	As Scored	Negative Scores	
			Number of	Percent
Importance Factor 5	15	-5	2	33.3%
sewage disposal	10	10		
off-site nuisances	0	0		
diversification				
emergency services	0	0		
right-of-way/roads	5	0		
emergency water supply	0	-10		
waste disposal service	0	-5		
waste disposal commitment				
Importance Factor 4	16	-4	1	25.0%
slopes	0	0		
use compatibility	0	0		
pedestrian circulation	8	-4		
underground utilities	8	0		
Importance Factor 3	12	6		
soil limitations	0	0		
building bulk/scale	0	0		
waste containers screening				
outdoor equip storage				
industrial buffer / screening				
right to farm				
right to operate				
mixed-use developments				
development patterns				
development buffering	6	0		
water system service	6	6		
Importance Factor 2	12	-2	1	14.3%
wildlife habitat and fisheries	0	0		
air quality	0	0		
building materials	0	0		
residential buffer / screening	4	0		
residential privacy	4	0		
traffic	0	-2		
pedestrian safety	4	0		
usable open space				
Importance Factor 1				
lot coverage	0	0		
rooftop vents / equipment				
bicycle circulation	2	0		

Scoring by: Bob Atchley / Bonita Kisse-Soutee
 Date: January 28, 2015



Taney County Planning & Zoning Department
Sketch Plan Submittal Form

Development Name: Echo Hollow Estates

General Location: off of Cedar Glade Dr

Section 24 Township 22N Range 22W

Date of submittal: _____ Map location: _____

_____ 5 copies of Sketch Plat

_____ Was pre-development conference held?

Existing w/ Proposed Water Supply

Taney County Proposed Wastewater Disposal facilities

8.7 Acreage of development

24 Number of lots proposed

Owner Developer

T.A. Freund Developments

Preparer

Same

Address:

4125 Hwy 86

Address:

Ridgely MD

Phone #: 417 263 0191

Phone #:

Fax #:

Fax #:

e-mail: Teedmonaco@gmail.com

e-mail:

Signature:

Signature:

[Handwritten Signature]

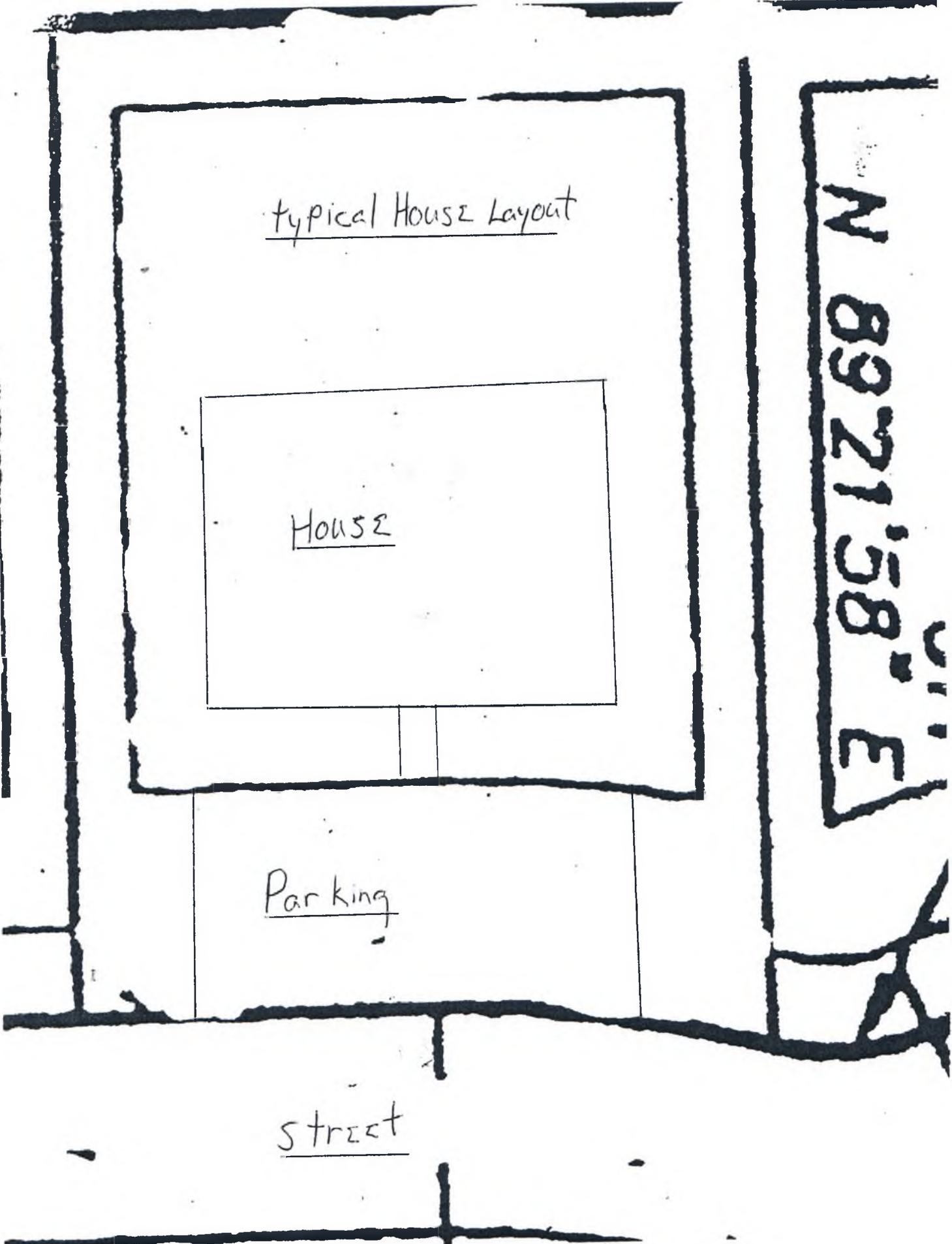
typical House Layout

House

Parking

street

N 89°21'58" E



James and Gail Lisi
230 Valley Stream Cir.
Hollister Missouri 65672
Tel: 417-239-0744
Cell: 417-598-3997
Email: jlisi57@gmail.com

FAX

February 3, 2015

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To: 417-546-6861

To: The Taney County Planning Commission

From James & Gail Lisi

**James and Gail Lisi
230 Valley Stream Cir.
Hollister Missouri 65672
Tel: 417-239-0744
Cell: 417-598-3997
Email: jlisi57@gmail.com**

February 3, 2015

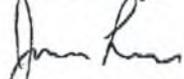
To: The Taney County Planning Commission

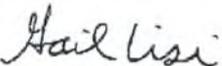
We are writing to you to express our concern and opposition to the nightly rental business being proposed for the property located at Cedar Glade Drive (Echo Hollow Estates).

We have two concerns that we would like to bring to your attention. The first concern is water supply. We are currently getting our water from a well that supports this neighborhood. Several years ago we were required to ration our water due to the drought conditions for a length of time. Our concern is that if we are to experience another drought that there will not be enough water for the community.

Our second concern is concerning the zoning issue. We chose to live in this area because it is a residential area with covenants that protect us and that we must abide by. Please see the attached residential protective covenants that were given to us that govern Pine Woods Village. Article number seven restricts the rental of any property in Pine Woods Village to a minimum of six months unless the developer approves of it. The same developer is now selling the property which is within 600 feet of Pine Woods Village and the Wilderness Club (which they developed and also has restrictive covenants) to a developer for nightly rentals. Thank you for your time to hear our heart in this matter.

Sincerely,


James Lisi


Gail Lisi

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PINE WOODS VILLAGE

RESIDENTIAL PROTECTIVE COVENANTS

This Declaration made this 5th day of NOVEMBER, 1996, by WILDERNESS CLUB, INC., hereinafter called the "DEVELOPER" having its principal place of business at South Highway 165, Hollister, MO 65672, Taney County, Missouri.

WHEREAS, the DEVELOPER is the owner of certain land in Taney County, Missouri, more particularly described in Exhibit "A" attached hereto; and

WHEREAS, it is the DEVELOPER'S intention that the aforesaid land shall be developed as a residential subdivision.

NOW, THEREFORE, the DEVELOPER declares that the aforesaid land is held and shall be conveyed by it subject to: (a) the following covenants and restrictions shall run with the land for twenty-five (25) years from the date hereof, after which time they shall be automatically extended for successive periods of ten (10) years each unless an instrument, signed by the then owners of a majority of all of the lots platted on said land, agreeing to change or remove such covenants and restrictions in whole or in part shall have been recorded and (b) the easements referred in Paragraph 2 hereof, which are reserved to the DEVELOPER, its successors and assigns, shall be perpetual in duration and run with and bind forever the land and the owner thereof, their heirs, successors and assigns.

1. No structure shall be erected, altered, placed or permitted to remain on any lot other than dwellings and accessory buildings such as gardens, garden houses and the like. No trailer, basement, tent, shack, garage or any other outbuilding or any structure of a temporary character erected on any lot shall at any time be used as a residence, either temporary or permanent. No outside toilets shall be allowed.
2. (a) No part of any building shall be located nearer than twenty-five (25) feet to the front lot line or nearer than five (5) feet to the rear lot line or nearer than five (5) feet from the side lot line; except that on lots abutting on two streets, no other building shall be nearer than twenty-five (25) feet from any street. Notwithstanding the foregoing, from and after such time as two or more contiguous lots running on the same street are used as a single building site, such contiguous lots shall be deemed to be a single lot for the purpose of determining the "side lot lines".

(b) The foregoing set back requirements may be waived, modified or altered by the architectural committee specified in Paragraph 18 hereof, and the architectural committee shall grant such waiver, modification or alteration only in cases in which compliance with the above set back requirements would cause undue hardship and upon a showing of unusual or unique

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circumstances. Such waiver, modification or alteration shall be in writing and shall be recorded in the public records of Tancy County, Missouri.

- (c) Easements and rights-of-way are hereby reserved unto the DEVELOPER and its successors and assigns for the construction, installation and maintenance of any and all utilities such as electricity, gas lines, drains, sewers, roads, water supply lines, telephone, cable TV or the like, necessary or desirable for the public health and welfare. Such easements and rights-of-way shall be confined to a five foot wide width along the rear and side lot lines of every lot and along every street abiding the premises, unless otherwise designated on the plat.
- (d) DEVELOPER hereby reserves the right to release, convey, relinquish and extinguish forever any easements, rights-of-way or set backs whether indicated on a plat or contained in these protective covenants, in circumstances where the release, abandonment, extinction of such easements, rights-of-way or set backs are necessary for the full use and enjoyment of two or more lots used as a single building site, with the approval of the architectural committee.
- (e) The release, abandonment and extinction of such easements, rights-of-way or set backs may be accomplished by recording in the public records of Tancy County, Missouri, a statement of release, abandonment or extinction referring to the block and lot numbers of the lot effected, at upon the filing of such statement, the easement, right-of-way or set back reserved by or in favor of DEVELOPER shall be forever extinguished.
- (f) No water well, cesspool or septic tank shall be permitted on any lot and all homes shall be connected to the central water and sewer system serving the development.
- (g) No parking of any type of vehicles shall be permitted on any street in the subdivision unless the same is approved by the architectural committee. The architectural committee shall have the right to establish limits of speed for any vehicle on any street in the subdivision.
3. No structure with an unfinished exterior shall be permitted to remain on any lot for a period exceeding six (6) months and all construction on the structure shall be completed within twelve (12) months after commencement of construction.
4. Right access is hereby reserved to DEVELOPER for general improvements on any premises but such right of access to any particular premises shall terminate upon commencement of construction on the premises by the owner.

2004 0341 PAGE 6974

C18339

5. No dwelling containing less than six hundred (600) square feet of living space, exclusive of any basement or garage or deck shall be permitted on any lot. No building or structure shall be erected so as to substantially obstruct the view of any other building or structure. All dwellings constructed shall have log cabin type siding; provided, however architectural committee shall have the right to approve any other type of siding used on any dwelling so long as the same is compatible with other dwellings in the subdivision.
6. All lots shall be exclusively for single family residences and no other purpose and shall not be further subdivided. Not more than one building or structure shall be erected on any lot except for one detached out building compatible in design and appearance with the residence. Any such building shall be located to the rear of the front building line of any residence. No metal buildings of any sort shall be permitted.
7. No dwellings shall be rented for a term of less than six (6) months unless the DEVELOPER approves of such rental.
8. All recreational facilities such as parks, playgrounds and green belt areas shall be for the benefit of all lot owners and their guests.
9. No structure, swimming pool, fences, out buildings or television satellite dishes shall be erected, altered, placed or permitted to remain on any lot until the design and location of such structure or other improvement and the kind of material to be used in the same shall have been approved in writing by the architectural committee.
10. No animals, horses, birds or poultry shall be kept or maintained on any lot except recognized household pets which may be kept thereon not to exceed two in number as pets for the pleasure and use of the occupants, but not for any commercial use or purpose. Pets shall be left on a leash when not in an enclosure.
11. No fence or hedge shall be erected or maintained on the premises which shall unreasonably restrict or block the view from any adjoining lot or which shall materially impair the continuity of the general landscape plan of the subdivision. For this purpose any fence or hedge erected or maintained which shall exceed four (4) feet in height shall have prior approval of the architectural committee.
12. No dump trucks, gravel trucks or any other type of commercial vehicle weighing more than FIVE (5) tons shall be permitted to use any of the streets in said subdivision except during the time of construction of any dwelling in the subdivision.
13. No sign or advertisement of any kind other than name plates or professional signs not to exceed one square foot in area shall be erected or maintained on the premises

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TANEY COUNTY TITLE

4173330004 P.00

BOOK 0341 PAGE 6975

012333

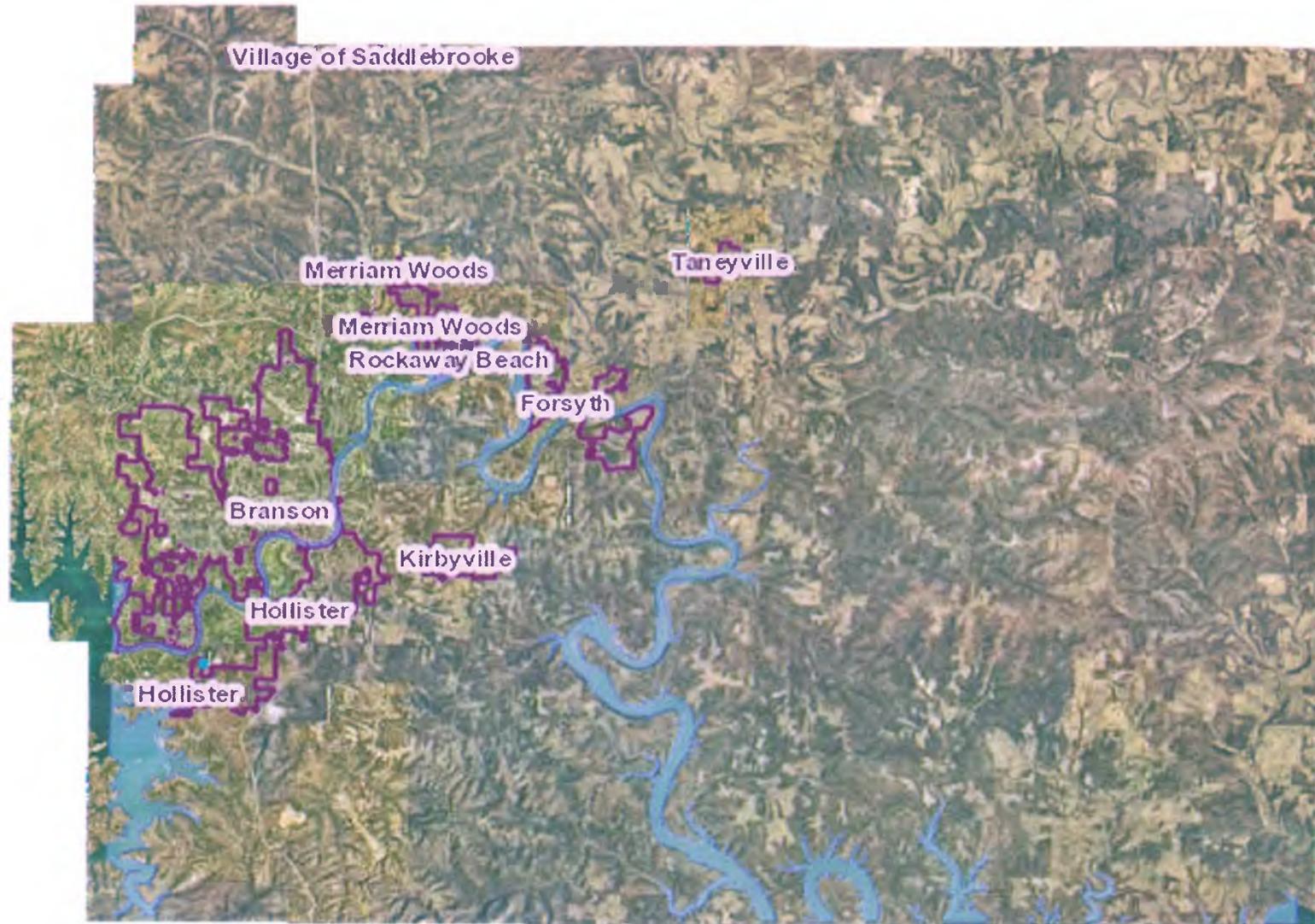
without the written approval of the architectural committee; provided, however, that a "for sale" sign may be placed on any lot so long as such sign or signs do not exceed twenty-four (24) inches x twenty-four (24) inches in size.

14. Rubbish and garbage shall be kept in suitable containers and moved from lots in accordance with the sanitation regulations as may be established from time to time by the architectural committee. No rubbish or garbage may be burned or dumped on the lots and all grass, weeds and brush shall be kept mowed to a height of not more than eight (8) inches above the ground.
15. No lots shall be used in whole or in part for the storage of any property or object that will cause such lot to appear in an unclean or untidy condition or that will be obnoxious to the eye, nor shall any activity be carried on or substance be kept upon any lot that will emit foul or obnoxious odors or that will cause unreasonable noise or which may be a nuisance to the neighborhood.
16. No unlicensed motor vehicles, trailers, motorcycles, dirt bikes, junk cars or automobiles elevated off of the ground shall be allowed on lot or any roadway excluding golf carts and riding lawn mowers.
17. The owners of seventy-five percent (75%) of the lots covered by these restrictions may amend or revoke any part thereof by an instrument in writing properly acknowledged modifying or abolishing these restrictions and the same shall then be recorded in the deed records of Taney County, Missouri.
18. The architectural committee referred to herein shall be the Board of Directors of the DEVELOPER or others named to the committee by the DEVELOPER. Such committee shall not exceed three in number.
19. Enforcement of the covenants contained herein shall be by proceedings at law or equity against any person or persons violating or attempting to violate any covenant, either to restrain violation or recover damages. In addition to the foregoing, the DEVELOPER shall have the right to summarily abate or remove any structure built on any lot which violates the within restrictions at the expense of the owner and such entry and abatement or removal shall not be deemed a trespass. The failure to enforce any right, restrictions or condition contained in these protective covenants, however long contained, shall not be deemed a waiver of the right to do thereafter as to the same breach or as to a breach occurring prior or subsequent thereto and shall not bar or effect its enforcement.
20. Invalidation of any one of the covenants contained herein by judgment, court order or for any reason shall in no effect any of the other covenants, all of which shall remain in full force and effect.

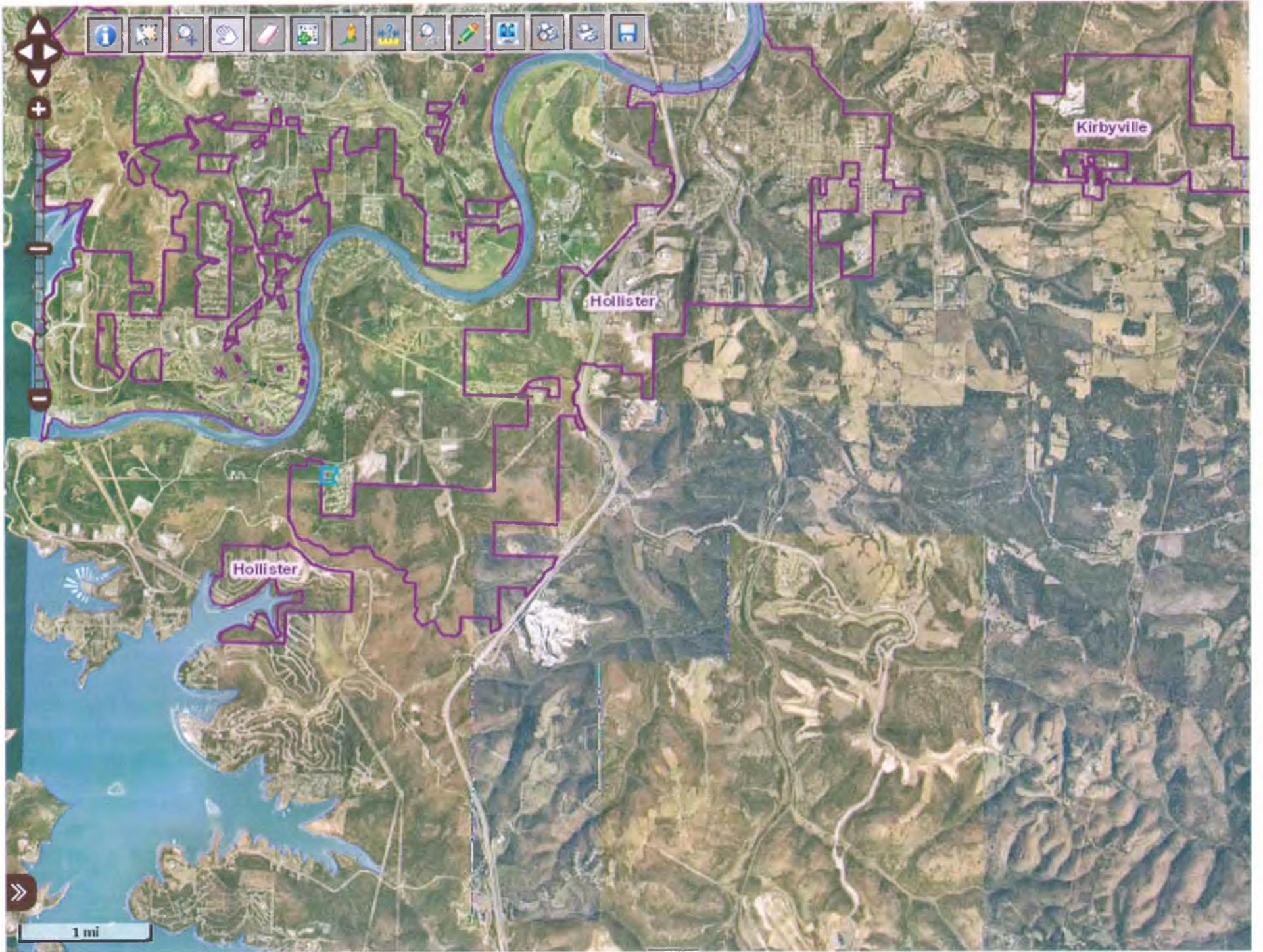


Echo Hollow Estates





**Echo Hollow Estates – Major Subdivision & Nightly Rental
200 Block of Shepherd of the Hills Expressway, Branson, MO
Division III Permit 2014-0012
Taney County GIS - Beacon**



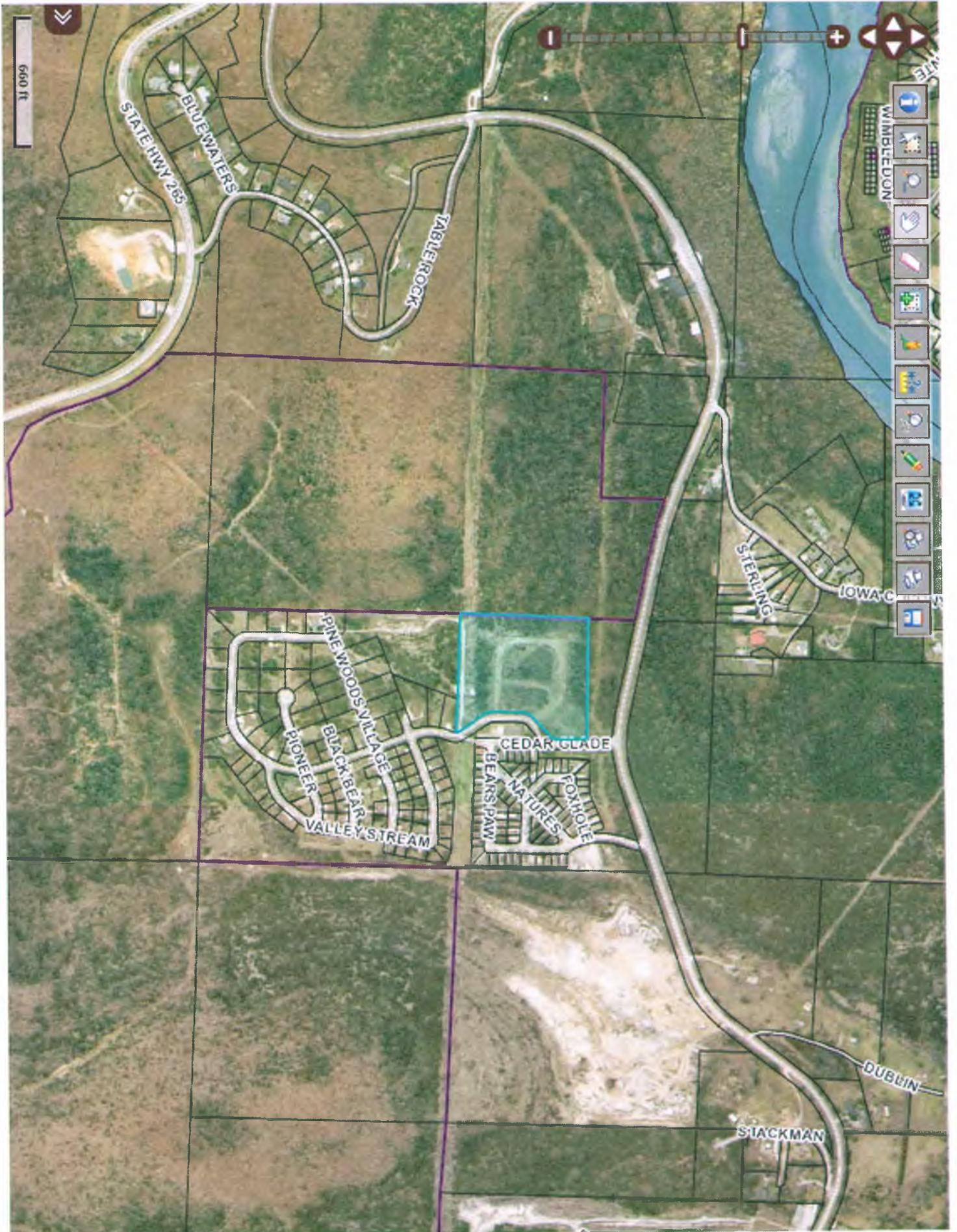
Kirbyville

Hollister

Hollister

1 mi





660 ft

STATE HWY 265

BLUEWATERS

TABLE ROCK

PINE WOODS VILLAGE

PIONEER

BLACK BEAR

VALLEY STREAM

BEARS PAW

NATURES

FOXHOLE

CEDAR GLADE

STERLING

IOWA-C

DUBLIN

STACKMAN

WIMBLEDON



HISTORIC HWY 165

CEDAR GLADE

FOXHOLE

NATURES

VALLEY

BEARS PAW

PINE VALLEY STREAM
PINE WOOD

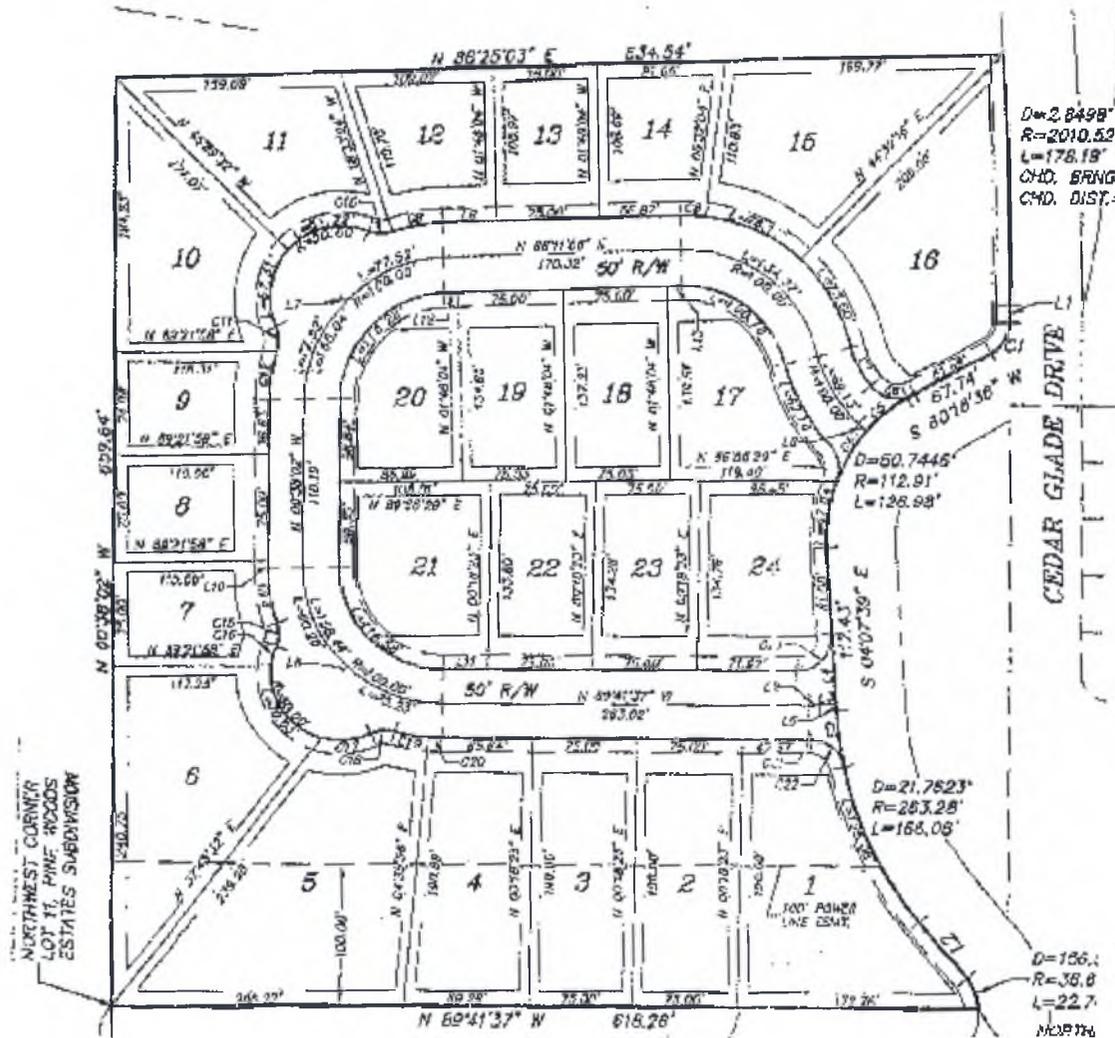




Plot Plan

ECHO HOLLOW ESTATES

LOCATED IN THE NE1/4, SW1/4
SEC. 24, T22N, R22W
OF THE 5th PRINCIPAL MERIDIAN
TANEY COUNTY, MISSOURI







**Echo Hollow Estates – Major Subdivision & Nightly Rental
200 Block of Shepherd of the Hills Expressway, Branson, MO
Division III Permit 2015-0001
Pictometry – View from the North**



**Echo Hollow Estates – Major Subdivision & Nightly Rental
200 Block of Shepherd of the Hills Expressway, Branson, MO
Division III Permit 2015-0001
Pictometry – View from the South**

**Echo Hollow Estates – Major Subdivision & Nightly Rental
200 Block of Shepherd of the Hills Expressway, Branson, MO
Division III Permit 2015-0001
Pictometry – View from the East**





**Echo Hollow Estates – Major Subdivision & Nightly Rental
200 Block of Shepherd of the Hills Expressway, Branson, MO
Division III Permit 2015-0001
Pictometry – View from the West**



**NOTICE OF
PUBLIC HEARING**

**THE TANEY COUNTY
PLANNING COMMISSION**

Will Hold A Public Hearing Concerning The
Following Request For Change
Under the Division III Process

Applicant: Echo Hollow Estates
Proposed Development: Valley Stream
Dev. LLC

Property Location: Cedar Glade Dr.

Hearing Location: Taney County Courthouse
Time: 6:00 PM Date: 2-9-15
Phone: 417-546-7225













SITE IMPROVEMENT PLANS
FOR
ECHO HOLLOW ESTATES
TANEY COUNTY, MISSOURI
 LOCATED IN THE NE 1/4, SW 1/4
 SECTION 24, TOWNSHIP 22 N, RANGE 22 W

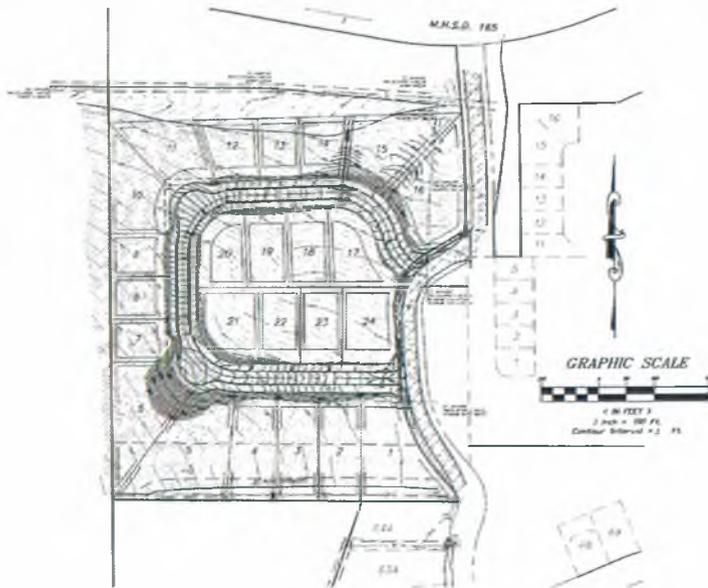
GENERAL NOTES:

1. DEVELOPMENT PLANS ARE APPROVED INITIALLY FOR ONE (1) YEAR AFTER WHICH THEY AUTOMATICALLY BECOME VOID AND MUST BE UPDATED AND RE-APPROVED BY TRI-STATE UTILITIES ENGINEER BEFORE ANY CONSTRUCTION WILL BE PERMITTED.
2. TRI-STATE UTILITIES PLAN REVIEW IS ONLY FOR GENERAL CONFORMANCE WITH THEIR DESIGN CRITERIA AND CODE. TRI-STATE UTILITIES IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, OR DIMENSIONS AND ELEVATIONS THAT SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE. TRI-STATE UTILITIES THROUGH APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY OTHER THAN AS STATED ABOVE FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.
3. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS (APPROVED BY TRI-STATE UTILITIES) AND ONE (1) COPY OF THE APPROPRIATE CONSTRUCTION REQUIREMENTS & SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
4. CONSTRUCTION OF THE IMPROVEMENTS SHOWN OR IMPLIED BY THIS SET OF DRAWINGS SHALL NOT BE INITIATED OR IN ANY MANNER UNDERMINED. TRI-STATE UTILITIES IS NOTIFIED OF SUCH WORK, AND ALL REQUIRED AND PROPERLY EXERCISED RIGHTS AND PERMIT FEES ARE REQUIRED AND APPROVED BY TRI-STATE UTILITIES.
5. TRI-STATE UTILITIES CONSTRUCTION REQUIREMENTS & SPECIFICATIONS, LATEST EDITION, SHALL GOVERN CONSTRUCTION OF THIS PROJECT.
6. ALL EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER. HOWEVER, ALL UTILITIES ACTUALLY EXISTING MAY NOT BE SHOWN. UTILITIES DAMAGED THROUGH THE REQUIREMENTS OF THE CONTRACTOR TO OBTAIN THE LOCATION OF SAME SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR EXPENSE.
7. ALL SIGNS SHALL BE INSTALLED IN LOTS NO DEEPER THAN 8" AND CONFORM TO 2008 STANDARD SPECIFICATIONS AT OMC.
8. THE CONTRACTOR SHALL NOT BE ALLOWED TO WORK ON SUNDAY HOLIDAY OR SATURDAY WORK SHALL BE AS APPROVED IN ADVANCE BY THE CITY ENGINEER.
9. ALL MATERIALS AND WORKMANSHIP ASSOCIATED WITH THIS PROJECT SHALL BE SUBJECT TO INSPECTION BY TRI-STATE UTILITIES. TRI-STATE UTILITIES RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO TRI-STATE UTILITIES REQUIREMENTS & SPECIFICATIONS.
10. THE CONTRACTOR SHALL NOTIFY TRI-STATE UTILITIES ENGINEER TWENTY-FOUR (24) HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
11. RELOCATION OF ANY WATER LINE, SEWER LINE, OR SERVICE LINE INCURRED REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT THEIR EXPENSE.
12. THE PROPOSED WATER LINE IMPROVEMENTS SHOWN ON THIS SET OF DRAWINGS HAVE BEEN DESIGNED TO PROVIDE THE FOLLOWING FIRE FLOW REQUIREMENTS AS DETERMINED BY TRI-STATE UTILITIES: 11/2 GPM.

AGENCY NAME	PHONE NUMBER
WHITE TAHER VALLEY ELECTRIC	335-8478
EMPIRE DISTRICT ELECTRIC CO.	336-3174
CENTURYVILLE REPAIR SERVICE	7-892-824-2877
RURAL MO. CABLE TV, INC.	334-7987
CELL	N/A
HIGHWAY DEPARTMENT (BRANSON)	336-2358
SEWER ADMINISTRATION	346-7272
INSPECTIONS	346-7228



KEY MAP
NOT TO SCALE



GENERAL LOCATION LAYOUT
SCALE: 1" = 100'



LOCATION MAP
TABLE ROCK DAM QUADRANGLE
SECTION 24, TOWNSHIP 22 N, RANGE 22 W
SCALE: 1" = 1000'

OWNER / DEVELOPER
 AUDREY ANDERSON
 P.O. BOX 840
 BRANSON, MO 63616
 (417)336-6401

LEGEND

- POWER POLE
- LIGHT STANDARD
- ELECTRIC BOX
- TELEPHONE PEDESTAL
- OVERHEAD ELECTRIC
- UNDERGROUND TELEPHONE
- UNDERGROUND ELECTRIC
- OVERHEAD ELECTRIC
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING SEWER MANHOLE
- EXISTING WATER LINE
- EXISTING SEWER LINE
- REACTION BLOCK
- PROPOSED WATER LINE
- PROPOSED GATE VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED 1/2" S MAN
- PROPOSED GRAVITY SEWER
- PROPOSED MANHOLE
- PROPOSED PUMP STATION
- W/NUMBER PUMP TYPE

SHEET INDEX

TITLE	DESCRIPTION
C-1	COVER SHEET
C-2	GRADING PLAN
C-3	ROADWAY 1 PLAN & PROFILE
C-4	STORM DRAIN PLAN & PROFILES
C-5	SEE DETAILS

COMPLETE PLAN SET:

- SIX SEPARATE SEWER SYSTEM PLANS
- SIX SEPARATE WATER SYSTEM PLANS
- SIX SEPARATE SEDIMENT CONTROL PLANS

31 - 54
 51 - 83
 51 - 54

MESA
 CONSULTING ENGINEERS
 1008 STATE HIGHWAY 248 BRANSON
 BRANSON, MO 63616
 PHONE: (417)336-6800 FAX: (417)336-5515
 WWW.MESAENGINEERS.COM

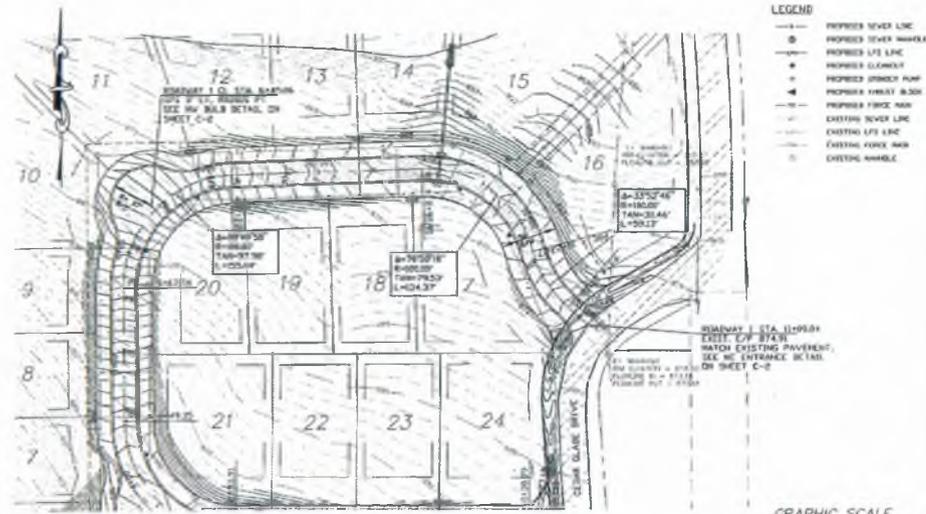
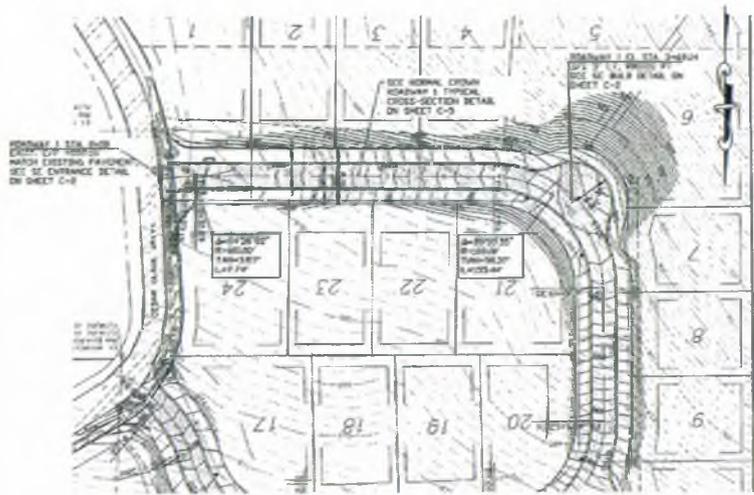
COVER SHEET
SITE IMPROVEMENT PLANS
 ECHO HOLLOW ESTATES
 TANEY COUNTY, MISSOURI
 AUDREY ANDERSON
 (417)336-6401



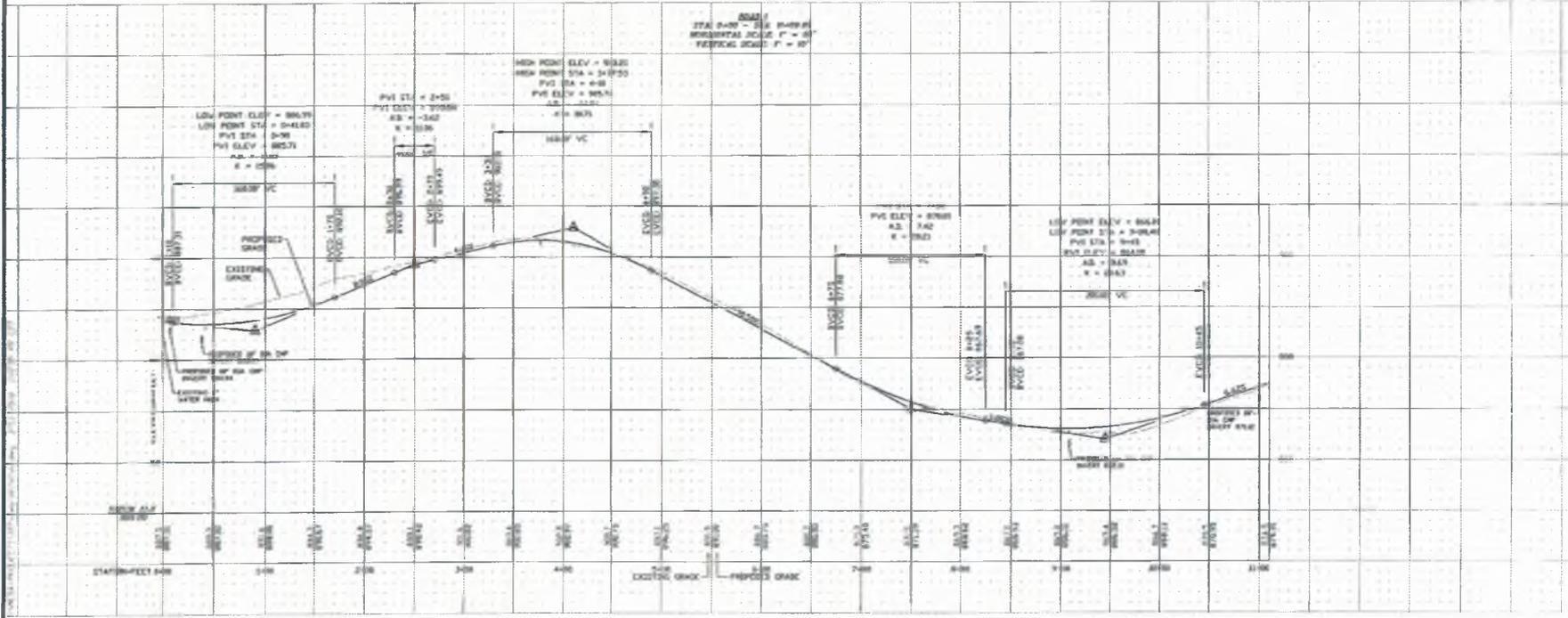
NO.	REVISIONS

REVISION	DATE	DESCRIPTION

SHEET
 C-1
 OF 5
 M.D. #887



- LEGEND**
- PROPOSED SEWER LINE
 - PROPOSED SEWER MANHOLE
 - PROPOSED L/S LINE
 - PROPOSED CLOSURE
 - PROPOSED DRAINAGE PUMP
 - PROPOSED STREET & SIDE
 - PROPOSED DRIVE MAN
 - EXISTING SEWER LINE
 - EXISTING L/S LINE
 - EXISTING FORCE MAIN
 - EXISTING MANHOLE



MESA
CONSULTING ENGINEERS

M.E. STALZER & ASSOCIATES
CONSULTING ENGINEERS
800 STATE HIGHWAY 248, MANOR
BUILDING 1, SUITE 3
BRADSON, MO 65011
PHONE (417) 338-9531
FAX (417) 338-9532

**ROADWAY 1 PLAN & PROFILE
SITE IMPROVEMENT PLANS**

ECHO HOLLOW ESTATES
TANEY COUNTY, MISSOURI

Prepared For:
AUBREY ANDERSON
(417)-229-5400



NO. REVISIONS

DESIGN	ME
DRAWN	ME
CHECKED	J.C.
DATE	10-13-99
SCALE	AS SHOWN
DATE PLOTTED	10/13/99

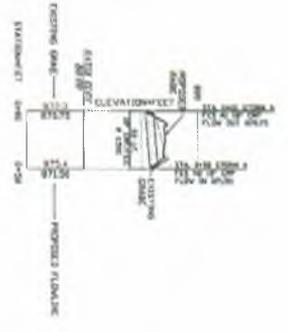
SHEET
C-3
OF
5
NO. 487



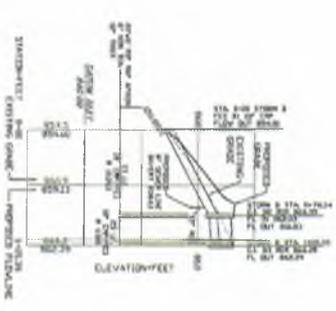
- LEGEND**
- 1. PROPOSED STORM DRAIN
 - 2. EXISTING STORM DRAIN
 - 3. PROPOSED SIDEWALK
 - 4. EXISTING SIDEWALK
 - 5. PROPOSED DRIVEWAY
 - 6. EXISTING DRIVEWAY
 - 7. PROPOSED DRIVEWAY
 - 8. EXISTING DRIVEWAY
 - 9. PROPOSED DRIVEWAY
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 - 42. EXISTING DRIVEWAY
 - 43. PROPOSED DRIVEWAY
 - 44. EXISTING DRIVEWAY
 - 45. PROPOSED DRIVEWAY
 - 46. EXISTING DRIVEWAY
 - 47. PROPOSED DRIVEWAY
 - 48. EXISTING DRIVEWAY
 - 49. PROPOSED DRIVEWAY
 - 50. EXISTING DRIVEWAY



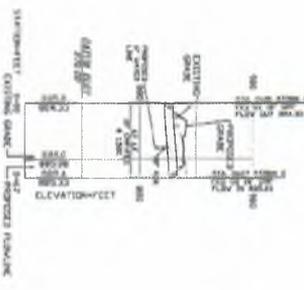
SECTION 1
STA. 8400+00 TO STA. 8410+00
HORIZONTAL SCALE 1" = 40'
VERTICAL SCALE 1" = 4'



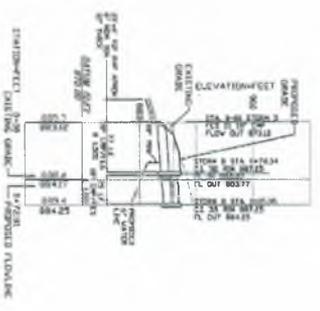
SECTION 2
STA. 8410+00 TO STA. 8420+00
HORIZONTAL SCALE 1" = 40'
VERTICAL SCALE 1" = 4'



SECTION 3
STA. 8420+00 TO STA. 8430+00
HORIZONTAL SCALE 1" = 40'
VERTICAL SCALE 1" = 4'



SECTION 4
STA. 8430+00 TO STA. 8440+00
HORIZONTAL SCALE 1" = 40'
VERTICAL SCALE 1" = 4'



M.E. STALZER & ASSOCIATES
CONSULTING ENGINEERS
800 STATE HIGHWAY 248 BRANSON
BUILDING 4, SUITE D
BRANSON, MO 65616
PHONE: (417)324-9926 FAX: (417)324-5151
www.nesawoff.com

STORM DRAIN PLAN & PROFILES
SITE IMPROVEMENT PLANS
ECHO HOLLOW ESTATES
TANEY COUNTY, MISSOURI
Prepared For
AUDREY ANDERSON
(417)-336-6401



NO.	REVISION

DESIGN DATE	
CHECK DATE	
DATE PLOTTED	
SCALE	
DATE PLOTTED	

SHEET
C-4
OF
5
JOB NO. 010

SANITARY SEWER IMPROVEMENT PLANS

FOR

ECHO HOLLOW ESTATES

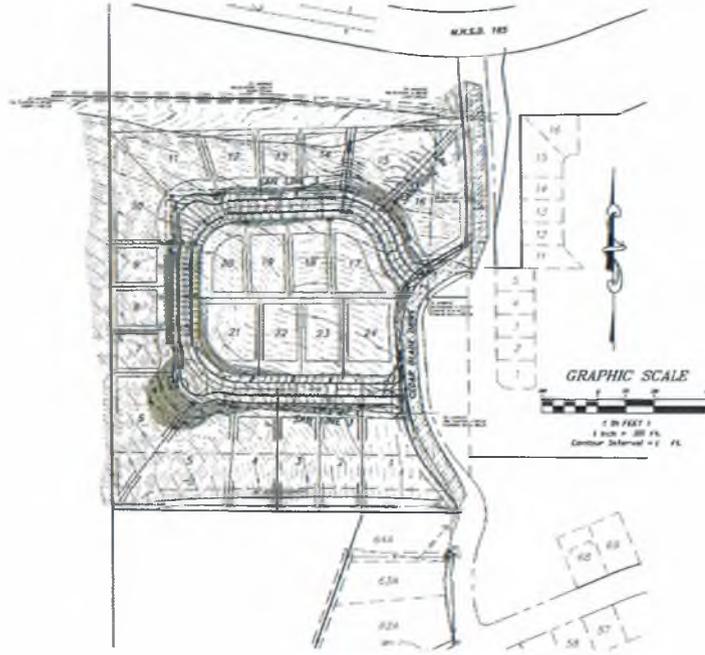
TANEY COUNTY, MISSOURI

SECTION 24, TOWNSHIP 22 N, RANGE 22 W

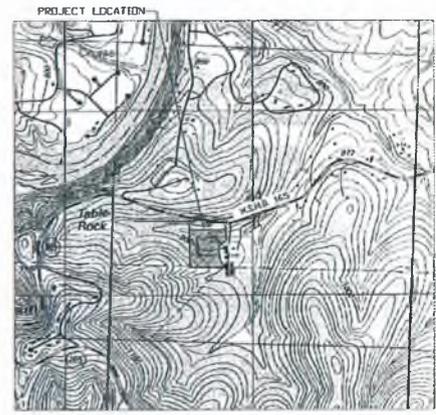
GENERAL NOTES

1. DEVELOPMENT PLANS ARE APPROVED INITIALLY FOR ONE (1) YEAR AFTER WHICH THEY AUTOMATICALLY BECOME VOID AND MUST BE UPDATED AND RE-APPROVED BY THE COUNTY BEFORE ANY CONSTRUCTION WILL BE PERMITTED.
2. THE COUNTY PLAN REVIEW IS ONLY FOR GENERAL CONFORMANCE WITH TANEY COUNTY DESIGN CRITERIA AND THE COUNTY CODE. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCEPTANCE AND ASSOCIACY OF THE RESULTS OR CONCERNING AND ELEVATIONS THAT SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE. THE COUNTY THROUGH APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY OTHER THAN AS STATED ABOVE FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.
3. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS APPROVED BY THE COUNTY AND ONE (1) COPY OF THE APPROPRIATE CONSTRUCTION PERMITS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
4. CONSTRUCTION OF THE IMPROVEMENTS SHOWN OR IMPLIED BY THIS SET OF DRAWINGS SHALL NOT BE INITIATED OR ANY PART THEREOF UNDERTAKEN UNTIL THE COUNTY IS NOTIFIED OF SUCH INTENT, AND ALL REQUIRED AND PROPERLY EDUCATED BONDS AND PERMIT FEES ARE RECEIVED AND APPROVED BY THE COUNTY.
5. THE COUNTY TECHNICAL SPECIFICATIONS, LATEST EDITION, SHALL GOVERN CONSTRUCTION OF THIS PROJECT.
6. ALL EXISTING UTILITIES INDICATED ON THE DRAWINGS ARE ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER. HOWEVER, ALL UTILITIES ACTUALLY EXISTING MAY NOT BE SHOWN. UTILITIES BARRAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR TO OBTAIN THE LOCATION OF SAME SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR EXPENSE.
7. ALL SHAK FILL SHALL BE INSTALLED IN LIFTS NO DEEPER THAN 3' AND COMPACTED TO ITS STANDARD DENSITY AT ONE'.
8. THE CONTRACTOR SHALL NOT BE ALLOWED TO WORK ON SUNDAY, HOLIDAY OR SATURDAY WORK SHALL BE AS APPROVED IN ADVANCE BY THE ENGINEER.
9. ALL MATERIALS AND WORKMANSHIP ASSOCIATED WITH THIS PROJECT SHALL BE SUBJECT TO INSPECTION BY THE COUNTY. THE COUNTY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO THE COUNTY STANDARDS AND TECHNICAL SPECIFICATIONS.
10. REPLACEMENT OF AN WATER LINE, SEWER LINE, OR SERVICE LINE THEREBY REQUIRES FOR THE CONSTRUCTION OF THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT THEIR EXPENSE.
11. CONTRACTOR MUST NOTIFY THE TANEY COUNTY SEWER DISTRICT AT LEAST 3-DAYS PRIOR TO CONSTRUCTION OF THE CONNECTION TO THE EXISTING SEWER MAIN IN OGDEN SQUARE DRIVE AND TANEY COUNTY SEWER DISTRICT MUST BE PRESENT AT THE TIME OF THE CONNECTION IS MADE.

AGENCY NAME	PHONE NUMBER
WHITE PEVER VALLEY ELECTRIC	335-1000
EMPIRE DISTRICT ELECTRIC CO	334-1120
CENTURYTEL CABLE SERVICE	(800) 824-2977
RURAL HD CABLE TV, INC	334-1997
USE	800
HIGHWAY DEPARTMENT	334-3358
SEWER ADMINISTRATION	346-1000
INSPECTINGS	346-1000



GENERAL LOCATION LAYOUT
SCALE: 1" = 100'



LOCATION MAP
TABLE ROCK DAM QUADRANGLE
SECTION 24, TOWNSHIP 22 N, RANGE 22 W
SCALE: 1" = 1000'

OWNER/DEVELOPER
ALDREY ANDERSON
P.O. BOX 6400
BRANSON, MO 65618
(417)336-6401

SEWER MAIN - MATERIALS LIST

LINE	MATERIAL	SIZE (OD)	LENGTH (LF)	MANHOLES
SAN LINE 1	SDR-35 PVC	8	306.04	3
SAN LINE 2	SDR-35 PVC	8	264.16	3
SAN LINE 3	SDR-35 PVC	8	702.06	3

SEWER NOTES:

1. AT WATER/SEWER MAINS CROSSINGS, ALL SEWER MAINS SHALL BE INSTALLED BENEATH WATER/SEWER MAINS WITH A MIN 18" VERTICAL SEPARATION BETWEEN PIPES (THE DISTANCE SHALL BE MEASURED FROM EDGE TO EDGE).
2. MAINTAIN A MINIMUM 36" OF BURIED DEPTH BETWEEN THE TOP OF SEWER MAIN AND FINISHED GRADE.
3. MAINTAIN A MINIMUM OF 12" HORIZONTAL SEPARATION BETWEEN THE PROPOSED SEWER MAIN AND ANY EXISTING OR PROPOSED WATER MAINS (THE DISTANCE SHALL BE MEASURED FROM EDGE TO EDGE).
4. PROFILE PIPES ARE SHOWN IN LENGTH FROM INSIDE FACE OF MANHOLE TO INSIDE FACE OF MANHOLE UNLESS OTHERWISE INDICATED.
5. ALL SEWER SERVICE LATERALS SHALL BE SCHD-40 PVC.
6. N.S.F.E. INDICATED MINIMUM SERVICEABLE FLOOR ELEVATION.

SHEET INDEX

TITLE	DESCRIPTION
S-1	COVER SHEET
S-2	PLAN & PROFILE - SAN LINE 1 & 2
S-3	PLAN & PROFILE - SAN LINE 3
S-4	SANITARY SEWER DETAILS

COMPLETE PLAN SET:
SEE SEPARATE SITE IMPROVEMENT PLANS
SEE SEPARATE WATER SYSTEM PLANS
SEE SEPARATE SEDIMENT CONTROL PLANS

C1 - 08
W1 - 03
S1 - 04

MESA
M.E. STALZER & ASSOCIATES
CONSULTING ENGINEERS
806 STATE HIGHWAY 248 BRANSON
BRANSON, MO 65616
PHONE: (417)331-9960 FAX: (417)331-5151
www.mesaengineers.com

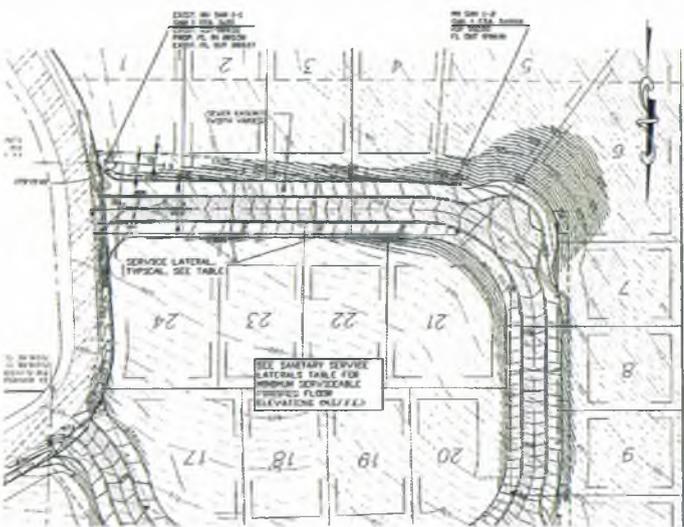
COVER SHEET
SEWER IMPROVEMENT PLANS
ECHO HOLLOW ESTATES
TANEY COUNTY, MISSOURI
ALDREY ANDERSON
(417)336-6401



NO.	REVISIONS
Δ	
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Δ	
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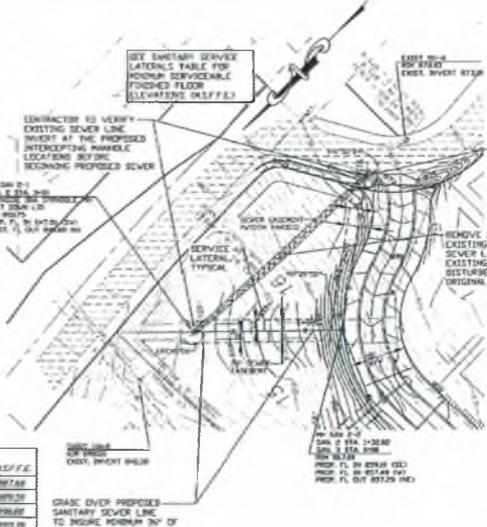
REVISION	DATE

SHEET
S-1
OF
4
W.B. 1017



- LEGEND**
- PROPOSED SEWER LINE
 - PROPOSED SEWER MANHOLE
 - PROPOSED LIFT LINE
 - PROPOSED CLEANOUT
 - PROPOSED SERVICE MAIN
 - PROPOSED SERVICE MAIN
 - EXISTING SEWER LINE
 - EXISTING LIFT LINE
 - EXISTING SERVICE MAIN
 - EXISTING MANHOLE

LIFT NO.	SAN. LINE 1	LIN. FT.	MSL/F.F.
1	STA. 2+05.26	27	897.68
2	STA. 2+14.82	28	898.86
3	STA. 2+24.66	27	899.40
4	STA. 2+34.29	27	900.20
5	STA. 2+43.92	27	901.20

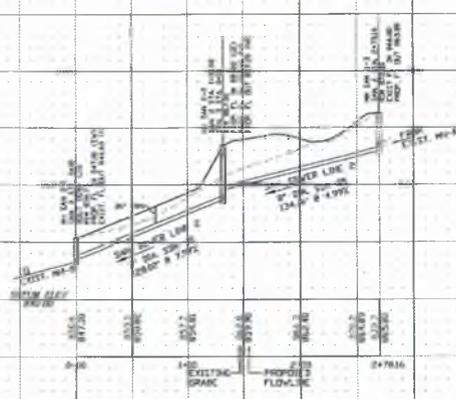
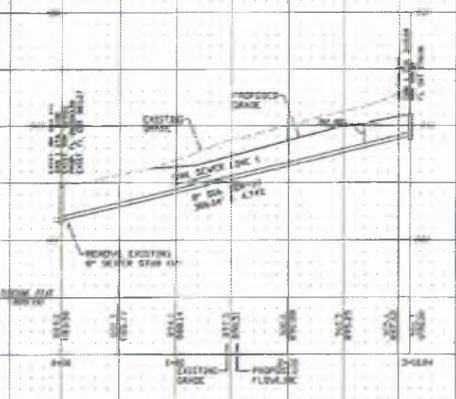


LIFT NO.	SAN. LINE 2	LIN. FT.	MSL/F.F.
16	STA. 2+61.00	21	855.79
15	STA. 2+45.82	15	856.00

- NOTES**
- AT WATER/STORM MAIN CROSSING, ALL SEWER MAINS SHALL BE INSTALLED BENEATH WATER/STORM MAINS WITH A MIN. 18" VERTICAL SEPARATION BETWEEN PIPES (THE DISTANCE SHALL BE MEASURED FROM EDGE TO EDGE).
 - MAINTAIN A MINIMUM 36" OF BURY DEPTH BETWEEN THE TOP OF SEWER MAIN AND FINISHED GRADE.
 - MAINTAIN A MINIMUM OF 10" HORIZONTAL SEPARATION BETWEEN THE PROPOSED SEWER MAIN AND ANY EXISTING OR PROPOSED WATER MAINS (THE DISTANCE SHALL BE MEASURED FROM EDGE TO EDGE).
 - PROFILE PIPE ARE SHOWN IN LENGTH FROM INSIDE FACE OF MANHOLE TO INSIDE FACE OF MANHOLE UNLESS OTHERWISE INDICATED.
 - ALL SEWER SERVICE LATERALS SHALL BE SCH-40 PVC.
 - MSL/F.F. INDICATES MINIMUM SERVICEABLE FINISHED FLOOR ELEVATION.

SAN. LINE 1
STA. 0+00 - STA. 2+43.92
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 10'

SAN. LINE 2
STA. 0+00 - STA. 2+78.16
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 10'



**M. E. STALZER & ASSOCIATES
CONSULTING ENGINEERS**
1811 STATE HIGHWAY 148, SUITE 300
BRANDON, MO 64580
PHONE: (417) 336-5400 FAX: (417) 336-5401
www.mesaeng.com

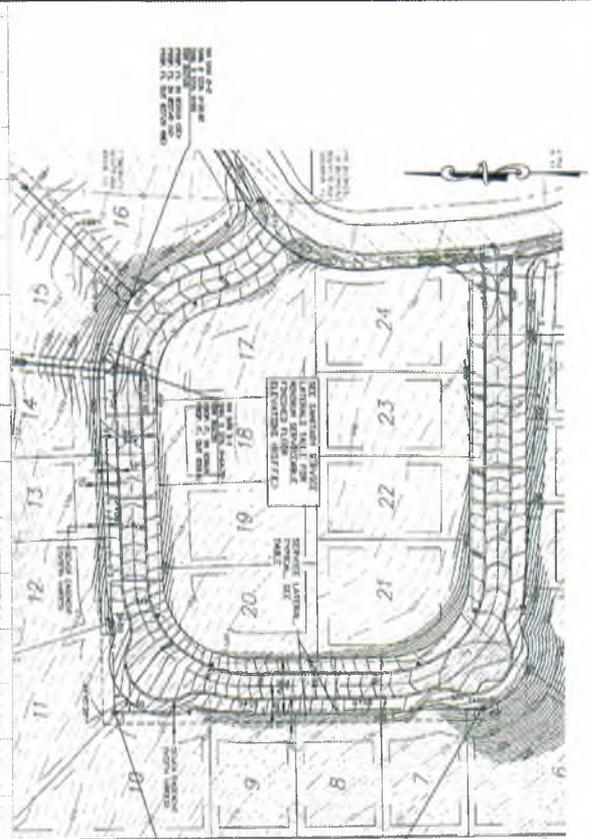
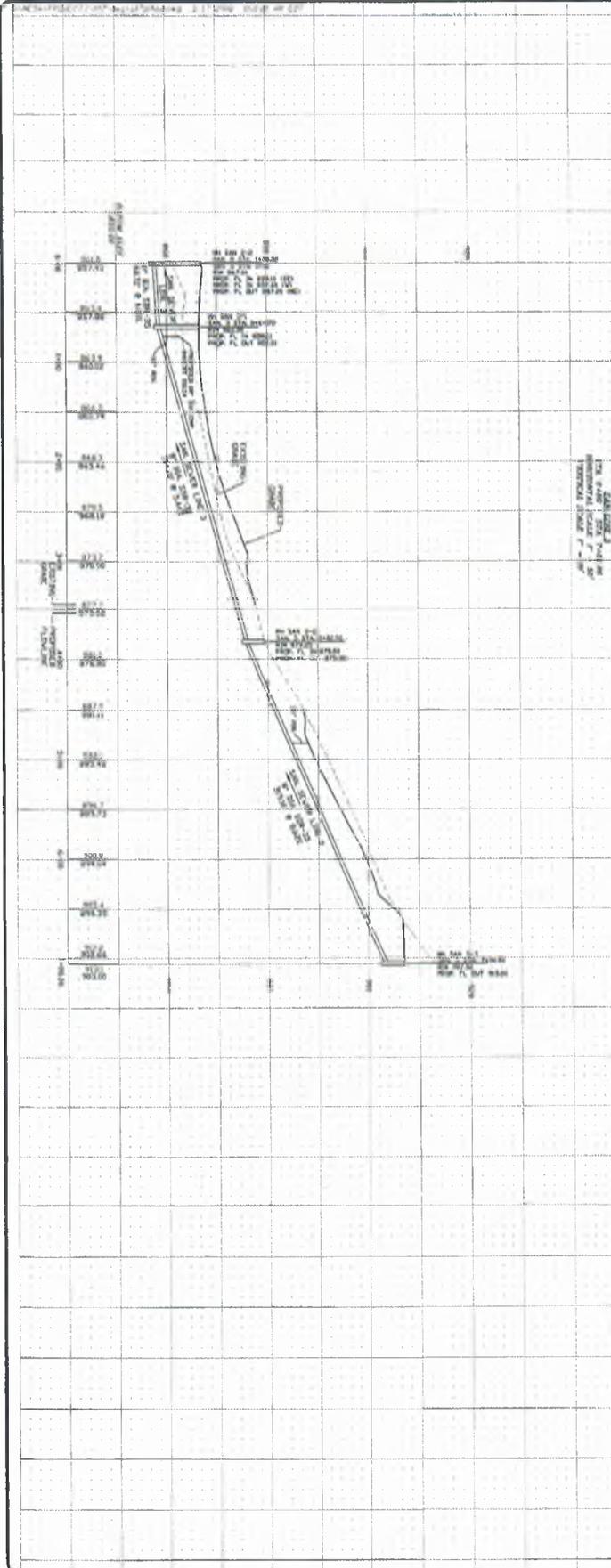
**SAN. LINE 1 & 2 PLAN & PROFILE
SANITARY SEWER IMPROVEMENT PLANS**
ECHO HOLLOW ESTATES
TAMU COUNTY, MISSOURI
PREPARED FOR:
AUDREY ANDERSON
(417)-336-6401



NO.	REVISIONS

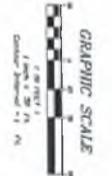
DESIGN	HC
DRAWN	HC
ENGINEER	HC
DATE	03-14-09
SCALE	AS SHOWN
CHECK	HC

SHEET
S-2
OF
4
V.D. #107



STATION	DEPTH	DIAMETER	LENGTH	NOTE
0+00	4.00	36"	10.00	MANHOLE 1
0+10	4.00	36"	10.00	MANHOLE 2
0+20	4.00	36"	10.00	MANHOLE 3
0+30	4.00	36"	10.00	MANHOLE 4
0+40	4.00	36"	10.00	MANHOLE 5
0+50	4.00	36"	10.00	MANHOLE 6
0+60	4.00	36"	10.00	MANHOLE 7
0+70	4.00	36"	10.00	MANHOLE 8
0+80	4.00	36"	10.00	MANHOLE 9
0+90	4.00	36"	10.00	MANHOLE 10
1+00	4.00	36"	10.00	MANHOLE 11

- NOTES:
1. ALL SANITATION AND SEWERAGE, ALL SANITATION AND SEWERAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SANITATION AND SEWERAGE CODES OF THE CITY OF BRANSON, MISSOURI.
 2. ALL SANITATION AND SEWERAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SANITATION AND SEWERAGE CODES OF THE CITY OF BRANSON, MISSOURI.
 3. ALL SANITATION AND SEWERAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SANITATION AND SEWERAGE CODES OF THE CITY OF BRANSON, MISSOURI.
 4. ALL SANITATION AND SEWERAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SANITATION AND SEWERAGE CODES OF THE CITY OF BRANSON, MISSOURI.
 5. ALL SANITATION AND SEWERAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SANITATION AND SEWERAGE CODES OF THE CITY OF BRANSON, MISSOURI.
 6. ALL SANITATION AND SEWERAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SANITATION AND SEWERAGE CODES OF THE CITY OF BRANSON, MISSOURI.



- LEGEND
- PROPOSED SEWER LINE
 - PROPOSED SEWER MANHOLE
 - PROPOSED CLEANOUT
 - PROPOSED EXISTING SANITATION
 - PROPOSED EXISTING SEWER
 - PROPOSED EXISTING SANITATION
 - PROPOSED EXISTING SEWER
 - PROPOSED EXISTING SANITATION
 - PROPOSED EXISTING SEWER

SHEET
S-3
OF
4
NO. 4182

DESIGN NO.
PROJECT NO.
DATE
SCALE
DRAWN BY
CHECKED BY

NO. OF SHEETS
NO. OF SHEETS
NO. OF SHEETS
NO. OF SHEETS

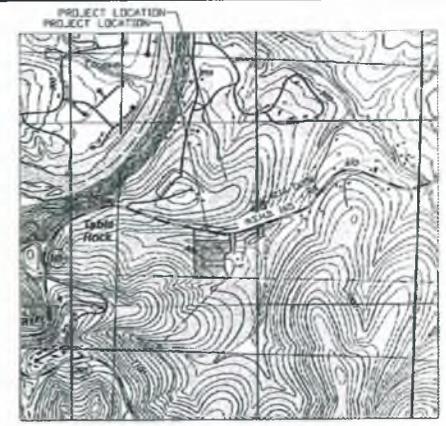


SAN LINE 3 PLAN & PROFILE
SANITARY SEWER IMPROVEMENT PLANS
 ECHO HOLLOW ESTATES
 TANEY COUNTY, MISSOURI
 Prepared For
 AUDREY ANDERSON
 (417)-336-6401

M.E. STALZER & ASSOCIATES
CONSULTING ENGINEERS
 800 STATE HIGHWAY 248 BRANSON
 BUILDING 4, SUITE D
 BRANSON, MO 65616
 PHONE: (417)334-8800 FAX: (417)334-5151
 www.mesae.com



SEDIMENT CONTROL PLANS
FOR
ECHO HOLLOW ESTATES
TANEY COUNTY, MISSOURI
SECTION 24, TOWNSHIP 22 N, RANGE 22 W



LOCATION MAP
TABLE ROCK 21st QUADRANGLE
SECTION 24, TOWNSHIP 22 N, RANGE 22 W
SCALE: 1" = 1000'

OWNER/DEVELOPER
AUBREY ANDERSON
P.O. BOX 6400
BRANSON, MO 65616
(417)336-6401

- GENERAL NOTES**
1. DEVELOPMENT PLANS ARE APPROVED INITIALLY FOR ONE (1) YEAR AFTER WHICH THEY AUTOMATICALLY BECOME VOID AND MUST BE UPDATED AND RE-APPROVED BY THE COUNTY BEFORE ANY CONSTRUCTION WILL BE PERMITTED.
 2. THE COUNTY PLAN REVIEW IS ONLY FOR CONFORMANCE WITH TANEY COUNTY DESIGN CRITERIA AND THE COUNTY CORRE. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN OR DIMENSIONS AND ELEVATIONS THAT SHALL BE CONFIRMED AND CORRECTED AT THE JOB SITE. THE COUNTY THROUGH APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY OTHER THAN AS STATED ABOVE FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.
 3. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS APPROVED BY THE COUNTY AND ONE (1) COPY OF THE APPROPRIATE CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
 4. CONSTRUCTION OF THE IMPROVEMENTS SHOWN OR IMPLIED BY THIS SET OF DRAWINGS SHALL NOT BE INITIATED OR ANY PART THEREOF UNDERTAKEN UNTIL THE COUNTY IS NOTIFIED BY SUCH INTENT, AND ALL REQUIRED AND PROPERLY CALCULATED BONDS AND PERMIT FEES ARE RECEIVED AND APPROVED BY THE COUNTY.
 5. THE COUNTY TECHNICAL SPECIFICATIONS, LATEST EDITION, SHALL GOVERN CONSTRUCTION OF THIS PROJECT.
 6. ALL EXISTING UTILITIES INDICATED ON THE DRAWINGS ARE ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER. HOWEVER, ALL UTILITIES ACTUALLY EXISTING MAY NOT BE SHOWN. UTILITIES SHOWN THROUGH THE KNOWLEDGE OF THE CONTRACTOR TO OBTAIN THE LOCATION OF SAME SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR EXPENSE.
 7. ALL BACK FILL SHALL BE INSTALLED TO A DEPTH NO DEEPER THAN 6" AND COMPACTED TO 95% STANDARD DENSITY AS CMC.
 8. THE CONTRACTOR SHALL NOT BE ALLOWED TO WORK ON SUNDAY, HOLIDAY OR SATURDAY WORK SHALL BE AS APPROVED IN ADVANCE BY THE ENGINEER.
 9. ALL MATERIALS AND WORKMANSHIP ASSOCIATED WITH THIS PROJECT SHALL BE SUBJECT TO INSPECTION BY THE COUNTY. THE COUNTY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO THE COUNTY STANDARDS AND TECHNICAL SPECIFICATIONS.
 10. RELOCATION OF ANY WATER LINE, SEWER LINE, OR SERVICE LINE THEREBY REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT THEIR EXPENSE.



GENERAL LOCATION LAYOUT
SCALE: 1" = 100'

AGENT FIRM	PHONE NUMBER
LINKS WATER WALKER ELECTRIC	830-8330
EMERGE ELECTRIC CO	334-7039
COMMUNITY WATER SERVICE	7-889-8888 UNIT 1
LIUNA MO CABLE TV, INC	334-7887
CGI	674
PROPERTY MANAGEMENT	334-2000
STATE ADMINISTRATION	540-7507
INSPECTIONS	540-7500



KEY MAP
NOT TO SCALE

SHEET INDEX

TITLE	DESCRIPTION
SC-1	COVER SHEET
SC-2	SEDIMENT CONTROL PLAN
SC-3	SEDIMENT CONTROL DETAILS
SC-4	SEDIMENT CONTROL NOTES

COMPLETE PLAN SET:
SEE SEPARATE GSEWER SYSTEM PLANS
SEE SEPARATE WATER SYSTEM PLANS
SEE SITE IMPROVEMENT PLANS

S1 - S4
W1 - W3
C1 - C2

MESA
CONSULTING ENGINEERS
M.E. STALLER & ASSOCIATES
808 STATE HIGHWAY 648 BRANSON
MO. 65616 - 4, SUITE 3
BRANSON, MO 65616
PHONE: (417)336-6400
FAX: (417)336-6401

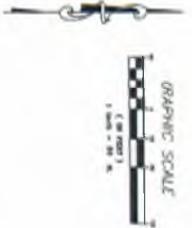
COVER SHEET
SEDIMENT CONTROL PLANS
ECHO HOLLOW ESTATES
TANEY COUNTY, MISSOURI
Prepared For:
AUBREY ANDERSON
417-336-6401



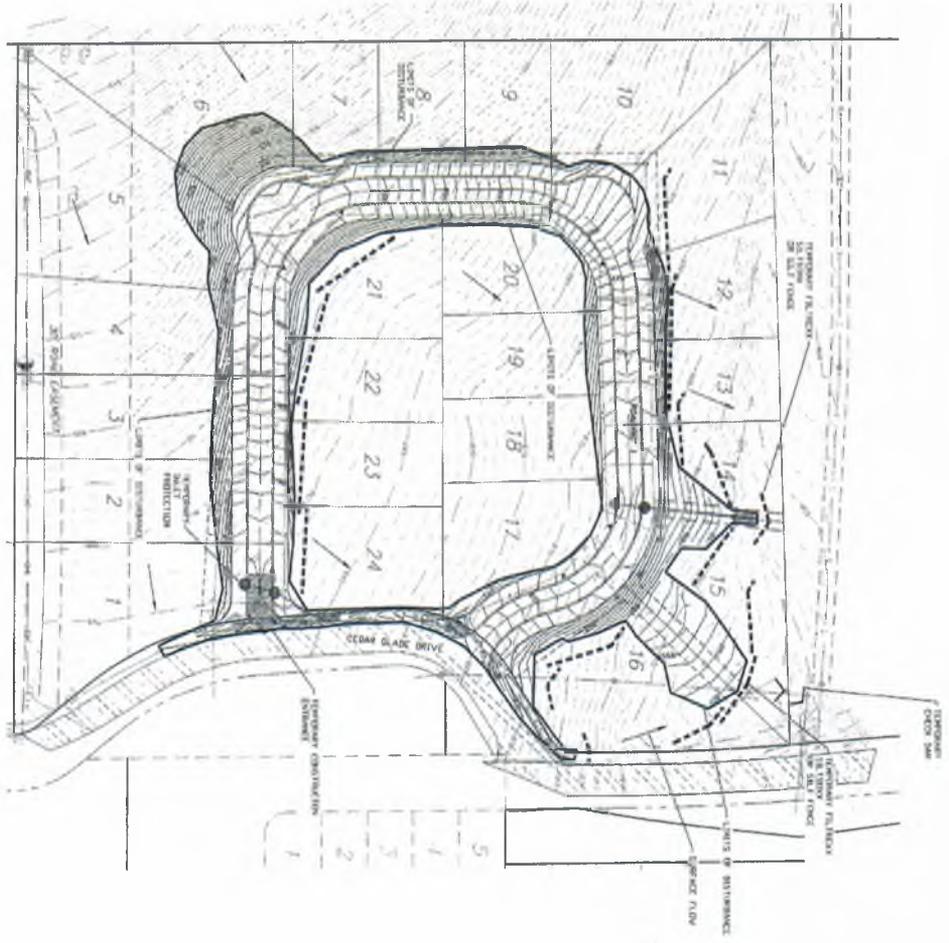
NO.	REVISIONS

SEARCH	DATE
SEARCHED	DATE
CHECKED	DATE
SCALE	DATE
SCALE	DATE

SHEET
SC-1
OF 4
VD #887



- LEGEND**
- TEMPORARY FENCE OR SIGN ON LOT FENCE - 4" HIGH LT
 - LOT FENCE
 - LOT OF DISTURBANCE - 4" HIGH CONCRETE SIGN, 24" DIA. SIGN
 - TEMPORARY CONSTRUCTION ENTRANCE
 - WELT PROTECTION
 - 1/2" DIA. PIPE



SHEET
SC-2
OF
4
NOV 2017

REVISION	DATE

NO	REVISIONS

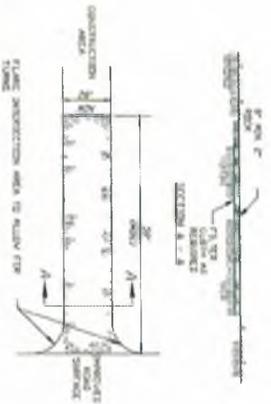


GRADING PLAN
SITE IMPROVEMENT PLANS
 ECHO HOLLOW ESTATES
 TANEY COUNTY, MISSOURI
 Prepared For
 AUDREY ANDERSEN
 (417)-936-6401

M.E. STALZER & ASSOCIATES
 CONSULTING ENGINEERS

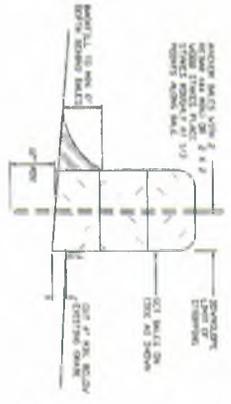
MESA
 MISSOURI ENGINEERING SOCIETY

800 STATIC HIGHWAY 248 BRANSON
 BUILDING 4, SUITE D
 BRANSON, MO 65616
 PHON: (417)334-9808 FAX: (417)334-3131
 www.mesaengineers.com



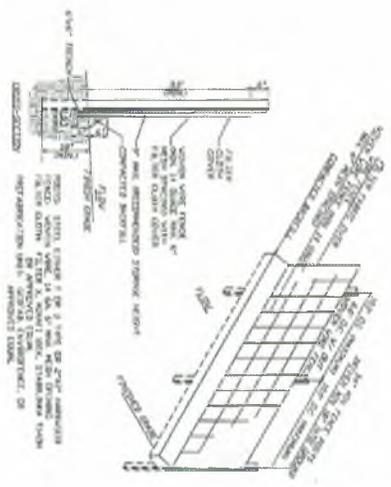
1. REBAR CONSTRUCTION DETAILS WILL BE DETERMINED BY THE APPLICABLE LOCAL CODES.
2. REBAR SHALL BE 1/2" DIAMETER REBAR.
3. REBAR SHALL BE 18" ON CENTER.
4. REBAR SHALL BE 18" ON CENTER.
5. REBAR SHALL BE 18" ON CENTER.
6. REBAR SHALL BE 18" ON CENTER.
7. REBAR SHALL BE 18" ON CENTER.
8. REBAR SHALL BE 18" ON CENTER.
9. REBAR SHALL BE 18" ON CENTER.
10. REBAR SHALL BE 18" ON CENTER.

SOCK CONSTRUCTION
NOT TO SCALE

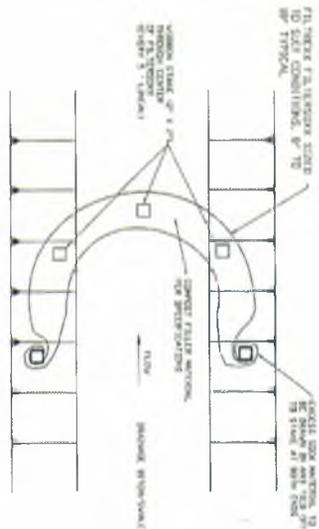


TYPICAL SOCK
NOT TO SCALE

1. ALL MATERIAL TO MEET TYPICAL SPECIFICATIONS.
2. CONCRETE CURB TO BE 18" ON CENTER.
3. CONCRETE CURB TO BE 18" ON CENTER.
4. CONCRETE CURB TO BE 18" ON CENTER.
5. CONCRETE CURB TO BE 18" ON CENTER.
6. CONCRETE CURB TO BE 18" ON CENTER.
7. CONCRETE CURB TO BE 18" ON CENTER.
8. CONCRETE CURB TO BE 18" ON CENTER.
9. CONCRETE CURB TO BE 18" ON CENTER.
10. CONCRETE CURB TO BE 18" ON CENTER.

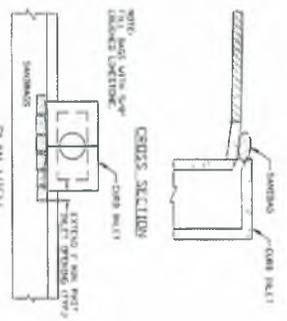


CURB REBAR DETAIL
NOT TO SCALE

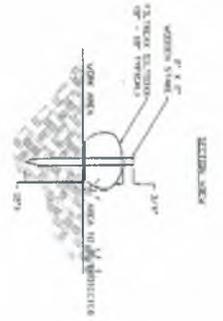


CURB REBAR DETAIL
NOT TO SCALE

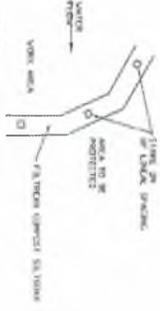
1. ALL MATERIAL TO MEET TYPICAL SPECIFICATIONS.
2. CONCRETE CURB TO BE 18" ON CENTER.
3. CONCRETE CURB TO BE 18" ON CENTER.
4. CONCRETE CURB TO BE 18" ON CENTER.
5. CONCRETE CURB TO BE 18" ON CENTER.
6. CONCRETE CURB TO BE 18" ON CENTER.
7. CONCRETE CURB TO BE 18" ON CENTER.
8. CONCRETE CURB TO BE 18" ON CENTER.
9. CONCRETE CURB TO BE 18" ON CENTER.
10. CONCRETE CURB TO BE 18" ON CENTER.



CURB REBAR DETAIL
NOT TO SCALE



CURB REBAR DETAIL
NOT TO SCALE



CURB REBAR DETAIL
NOT TO SCALE

1. ALL MATERIAL TO MEET TYPICAL SPECIFICATIONS.
2. CONCRETE CURB TO BE 18" ON CENTER.
3. CONCRETE CURB TO BE 18" ON CENTER.
4. CONCRETE CURB TO BE 18" ON CENTER.
5. CONCRETE CURB TO BE 18" ON CENTER.
6. CONCRETE CURB TO BE 18" ON CENTER.
7. CONCRETE CURB TO BE 18" ON CENTER.
8. CONCRETE CURB TO BE 18" ON CENTER.
9. CONCRETE CURB TO BE 18" ON CENTER.
10. CONCRETE CURB TO BE 18" ON CENTER.

SC-3
SHEET 4
VIA MAIL

NO.	DESCRIPTION
1	
2	
3	
4	
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6	
7	
8	
9	
10	

NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	



SEDIMENT CONTROL DETAILS
SEDIMENT CONTROL PLANS
ECHO HOLLOW ESTATES
TANEY COUNTY, MISSOURI
Prepared by
AUDREY ANDERSON
(417)-336-6401

M.E. STALZER & ASSOCIATES
CONSULTING ENGINEERS
800 STATE HIGHWAY 248 BRANSON
BUILDING 4, SUITE D
BRANSON, MO 65616
PHONE: (417)334-8888 FAX: (417)334-5151
www.mesaofpe.com

WATER IMPROVEMENT PLANS

FOR ECHO HOLLOW ESTATES

TANEY COUNTY, MISSOURI

SECTION 24, TOWNSHIP 22 N, RANGE 22 W

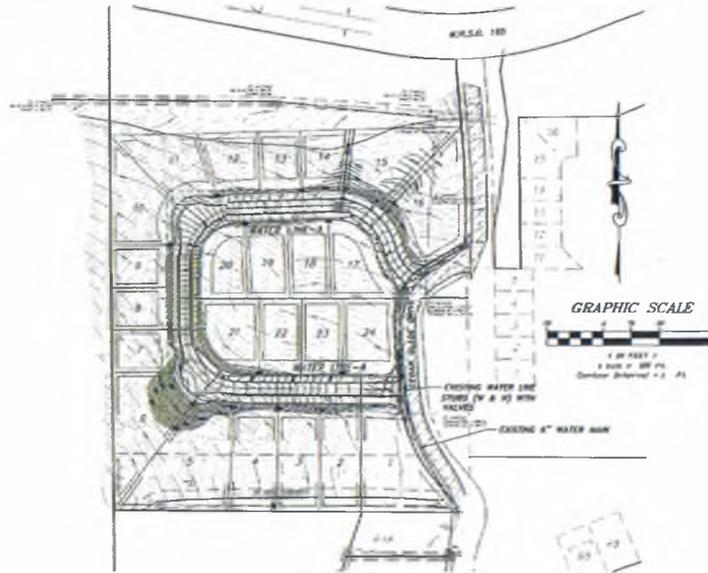
GENERAL NOTES

1. DEVELOPMENT PLANS ARE APPROVED INITIALLY FOR ONE (1) YEAR AFTER WHICH THEY AUTOMATICALLY EXPIRE. USED AND MUST BE UPDATED AND RE-APPROVED BY THE COUNTY BEFORE ANY CONSTRUCTION WILL BE PERMITTED.
2. THE COUNTY PLAN REVIEW IS ONLY FOR GENERAL CONFORMANCE WITH TANEY COUNTY DESIGN ORDINANCES AND THE COUNTY CODE. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND RELIABILITY OF THE DESIGN OR DIMENSIONS AND ELEVATIONS THAT SHALL BE CONFIRMED AND CORRECTED AT THE JOB SITE. THE COUNTY THROUGH APPROVAL OF THIS DOCUMENT ASSURES NO REPRESENTATIVITY OTHER THAN AS STATED ABOVE FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.
3. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS APPROVED BY THE COUNTY AND ONE (1) COPY OF THE APPROPRIATE CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
4. CONSTRUCTION OF THE IMPROVEMENTS SHOWN OR IMPLIED BY THIS SET OF DRAWINGS SHALL NOT BE INITIATED OR ANY PART THEREOF UNDERTAKEN UNTIL THE COUNTY IS ADVISED OF SUCH INTENT, AND ALL REQUIRED AND PROPERLY EXECUTED BONDS AND PERMIT FEES ARE RECEIVED AND APPROVED BY THE COUNTY.
5. THE COUNTY TECHNICAL SPECIFICATIONS, LATEST EDITION, SHALL GOVERN CONSTRUCTION OF THIS PROJECT.
6. ALL EXISTING UTILITIES INDICATED ON THE DRAWINGS ARE ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER. HOWEVER, ALL UTILITIES ACTUALLY EXISTING MAY NOT BE SHOWN. UTILITIES SHOWN THROUGH THE NEGLIGENCE OF THE CONTRACTOR TO OBTAIN THE LOCATION OF SAME SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR EXPENSE.
7. ALL BACK FILL SHALL BE INSTALLED IN LIFTS NO DEEPER THAN 18" AND COMPACTED TO THE STANDARD DENSITY AT EACH.
8. THE CONTRACTOR SHALL NOT BE ALLOWED TO WORK ON SUNDAY, HOLIDAY OR SATURDAY WORK SHALL BE AS APPROVED IN ADVANCE BY THE ENGINEER.
9. ALL MATERIALS AND WORKMANSHIP ASSOCIATED WITH THIS PROJECT SHALL BE SUBJECT TO INSPECTION BY THE COUNTY. THE COUNTY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP, BUT DOES NOT CONFORM TO THE COUNTY STANDARDS AND TECHNICAL SPECIFICATIONS.
10. RELOCATION OF ANY WATER LINE, SEWER LINE, OR SERVICE LINE SHOWN OR IMPLIED ON THE CONSTRUCTION OF THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT THEIR EXPENSE.

UTILITY NAME	PHONE NUMBER
WHITE RIVER VALLEY ELECTRIC	335-3333
EMPOWER DISTRICT ELECTRIC CO.	334-1111
CONCRETE SPECIAL SERVICE	334-8811-8811
SHAW-NO-DIG TV, INC.	334-1001
USPS	304
PROGRESS DEPARTMENT	334-2300
SILVER AMMUNITION	344-3333
INSPECTIONS	344-3333



KEY MAP
NOT TO SCALE



GENERAL LOCATION LAYOUT
SCALE: 1" = 100'

WATERMAIN - MATERIALS LIST					
LINE NUMBER	SIZE (IN)	LENGTH (FT)	SOFT ENDS	FLUSH VALVES	FLUSH HOUSINGS
A	CLASS 200 PVC	8	1140.00	3	3



LOCATION MAP
TABLE ROCK DAM QUADRANGLE
SECTION 24, TOWNSHIP 22 N, RANGE 22 W
SCALE: 1" = 1000'

OWNER/DEVELOPER
AUDREY ANDERSON
P.O. BOX 6400
BRANSON, MO 63816
(417)336-6401

SHEET INDEX

TITLE	DESCRIPTION
W-1	COVER SHEET
W-2	WATER PLAN
W-3	WATER DETAILS

COMPLETE PLAN SET:

SEE SEPARATE SEWER SYSTEM PLANS
SEE SEPARATE SITE IMPROVEMENT PLANS
SEE SEPARATE EROSION CONTROL PLANS

61 - 64
63 - 68
67 - 68



M.E. STALZER & ASSOCIATES
CONSULTING ENGINEERS
580 STATE HIGHWAY 640 BRANSON
BRANSON, MO 63816
PHONE: (417)336-6401 FAX: (417)336-6401
www.mesaengineers.com

COVER SHEET
WATER IMPROVEMENT PLANS
ECHO HOLLOW ESTATES
TANEY COUNTY, MISSOURI
Prepared For
AUDREY ANDERSON
(417)336-6401



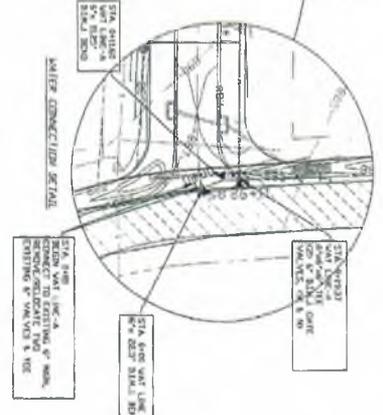
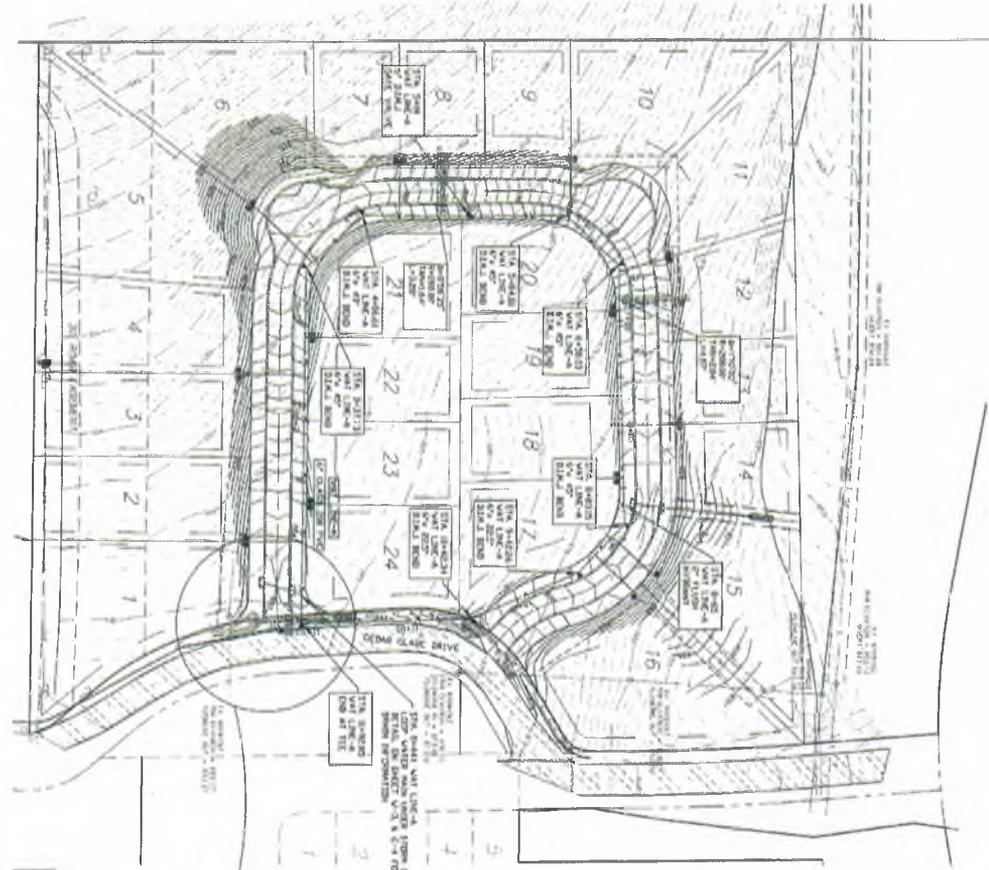
NO.	REVISION

DATE	BY	CHKD BY

SHEET
W-1
OF
3
V.D. 1107

LINE #	DESCRIPTION	DATE	BY	CHKD BY
1	PLAN	10/1/87	MS	MS
2	PLAN	10/1/87	MS	MS
3	PLAN	10/1/87	MS	MS
4	PLAN	10/1/87	MS	MS
5	PLAN	10/1/87	MS	MS
6	PLAN	10/1/87	MS	MS
7	PLAN	10/1/87	MS	MS
8	PLAN	10/1/87	MS	MS
9	PLAN	10/1/87	MS	MS
10	PLAN	10/1/87	MS	MS
11	PLAN	10/1/87	MS	MS
12	PLAN	10/1/87	MS	MS
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14	PLAN	10/1/87	MS	MS
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16	PLAN	10/1/87	MS	MS
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20	PLAN	10/1/87	MS	MS
21	PLAN	10/1/87	MS	MS
22	PLAN	10/1/87	MS	MS
23	PLAN	10/1/87	MS	MS
24	PLAN	10/1/87	MS	MS

- NOTES:**
- ALL WATER MAINS TO BE INSTALLED 24" DIA. UNLESS OTHERWISE NOTED.
 - ALL WATER MAINS TO BE INSTALLED 18" DIA. UNLESS OTHERWISE NOTED.
 - ALL WATER MAINS TO BE INSTALLED 15" DIA. UNLESS OTHERWISE NOTED.
 - ALL WATER MAINS TO BE INSTALLED 12" DIA. UNLESS OTHERWISE NOTED.
 - ALL WATER MAINS TO BE INSTALLED 10" DIA. UNLESS OTHERWISE NOTED.
 - ALL WATER MAINS TO BE INSTALLED 8" DIA. UNLESS OTHERWISE NOTED.
 - ALL WATER MAINS TO BE INSTALLED 6" DIA. UNLESS OTHERWISE NOTED.
 - ALL WATER MAINS TO BE INSTALLED 4" DIA. UNLESS OTHERWISE NOTED.
 - ALL WATER MAINS TO BE INSTALLED 3" DIA. UNLESS OTHERWISE NOTED.
 - ALL WATER MAINS TO BE INSTALLED 2" DIA. UNLESS OTHERWISE NOTED.
 - ALL WATER MAINS TO BE INSTALLED 1" DIA. UNLESS OTHERWISE NOTED.
 - ALL WATER MAINS TO BE INSTALLED 1/2" DIA. UNLESS OTHERWISE NOTED.
 - ALL WATER MAINS TO BE INSTALLED 1/4" DIA. UNLESS OTHERWISE NOTED.
 - ALL WATER MAINS TO BE INSTALLED 1/8" DIA. UNLESS OTHERWISE NOTED.
 - ALL WATER MAINS TO BE INSTALLED 1/16" DIA. UNLESS OTHERWISE NOTED.



LEGEND

- 24" WATER MAIN
- 18" WATER MAIN
- 15" WATER MAIN
- 12" WATER MAIN
- 10" WATER MAIN
- 8" WATER MAIN
- 6" WATER MAIN
- 4" WATER MAIN
- 3" WATER MAIN
- 2" WATER MAIN
- 1" WATER MAIN
- 1/2" WATER MAIN
- 1/4" WATER MAIN
- 1/8" WATER MAIN
- 1/16" WATER MAIN

GRAPHIC SCALE

1" = 20' (1" = 30')

W-2
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VA 987

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WATER PLAN
WATER IMPROVEMENT PLANS
 ECHO HOLLOW ESTATES
 TANEY COUNTY, MISSOURI
 Prepared For
 AUDREY ANDERSON
 (417)-336-6401

M.E. STALZER & ASSOCIATES
CONSULTING ENGINEERS

880 STATE HIGHWAY 248 BRANSON
 BUILDING 4, SUITE 2
 BRANSON, MO 64604
 PHONE: (417)334-8826 FAX: (417)334-5151
 WWW.PDFDOWNS.COM



BLAKE PLAZA

Rock Wall

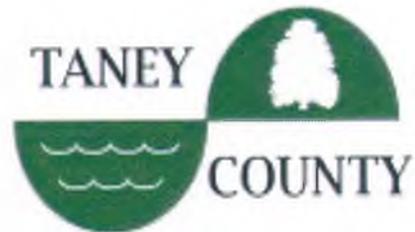








TANEY COUNTY PLANNING DEPARTMENT



2014 ANNUAL REPORT

February, 2015

Dear Taney County Commission, Planning Commission, Board of Adjustment and Interested Citizens:

The Taney County Planning Department provides a wide variety of professional community planning services to the citizens of Taney County. Between on-going development administration duties and a variety of special projects, the Department remained exceptionally busy throughout 2014. This Annual Report documents the accomplishments of the Department during 2014 and sets a course for continued progress in 2015.

Taney County is a wonderful mix of both rural and rapidly growing urban land uses. The Taney County Planning Commission and the Board of Adjustment are hard-working groups of volunteer citizens who believe in a strong future for Taney County. Last but certainly not least of all, I must thank my staff. The Staff has been tremendous and very supportive. They are very devoted to the profession of planning. They each work extremely hard in the pursuit of continuing to improve Taney County.

The Taney County Planning Department Staff proudly presents the Taney County Planning Department 2014 Annual Report. The Planning Department Staff looks forward to continuing to work with our citizens, other departments, elected officials and community partners to help create your vision for Taney County.

Sincerely,



Bob Atchley

Taney County Planning Administrator

PREFACE

Per the provisions of Section 3.6 of the Taney County Development Guidance Code, *“Amendments to these Codes shall be made as provided by law (see RSMo 64.863). To provide an annual review of the Codes, the Taney County Planning and Zoning Commission's regular February meeting shall be exclusively devoted to a review of permits issued during the previous year, to a hearing of public comments on the Codes, and to the initiation of amendments the Commission may consider necessary to improve the Codes' performance as a growth-management tool.”* This annual report outlines and describes the Planning Department's numerous activities and projects, and highlights the Department's major accomplishments over the past year.

PLANNING DEPARTMENT GOAL

The goal of the Planning Department is to provide the very best possible service to the citizens and visitors of Taney County, Missouri while also ensuring compliance with the requirements of the Taney County Development Guidance Codes, the Taney County Subdivision Regulations, the Taney County Road Standards, the Master Plan, the Floodplain Management Ordinance and policies set by the County Commission, the Planning Commission and the Board of Adjustment. The Statutory Authority for Taney County's form of Planning and Zoning is based upon the provisions of RSMo 64.800 – 64.900.

2014 PLANNING COMMISSION MEETING ATTENDANCE

The Planning Commission held sixteen (16) public meetings throughout the course of the year, with eight (8) cancelled meetings due to a lack of applications. Planning Commission members continued to maintain their excellent record of participation with an average of 82% attendance at all meetings (excluding vacant townships and the cancelled meetings). Not included in these hours is travel time to and from meetings.

2014 PLANNING COMMISSION MEETING ATTENDANCE																										
NAME	TOWNSHIP	JANUARY		FEBRUARY		MARCH		APRIL		MAY		JUNE		JULY		AUGUST		SEPTEMBER		OCTOBER		NOVEMBER		DECEMBER		mtg to date
		13	21	10	18	10	17	14	21	12	19	9	16	14	21	11	18	8	15	14	20	10	17	9	15	
Dave Stewart	Jasper	X	X	X	1	X	1	1	1	1	1	1	1	X	X	X	0	0	0	0	0	0	1	X	1	10
Rick Caudill	Oliver	X	X	X	0	X	0	1	0	1	1	1	0	X	X	X	0	1	1	0	0	0	0	X	0	6
Steve Adams	Beaver	X	X	X	1	X	1	1	0	1	1	1	1	X	X	X	1	1	1	1	1	1	1	X	1	15
Ray Edwards	Cedar Creek	X	X	X	0	X	0	0	0					X	X	X										
Doug Fabion	Swan	X	X	X	1	X	1	1	1	1	1	1	0	X	X	X	1	1	0	1	1	1	1	X	1	14
Randy Fogle	Branson	X	X	X		X								X	X	X	1	1	1	1	0	1	1	X	1	7
Randy Haes	Road & Bridge	X	X	X	1	X	1	1	1	1	1	1	1	X	X	X	1	1	1	1	0	1	1	X	1	15
Ronnie Melton	Scott	X	X	X	1	X	1	1	1	1	1	1	1	X	X	X	1	1	1	1	1	1	1	X	1	16
Mike Scofield	Big Creek	X	X	X	1	X	1	1	1	1	1	1	1	X	X	X	1	1	1	1	1	1	1	X	0	15

	# of Meetings	Att.	%
Dave Stewart	16	10	63%
Rick Caudill	16	6	38%
Steve Adams	16	15	94%
Ray Edwards	0	0	0%
Doug Fabion	16	14	88%
Randy Fogle	8	7	88%
Randy Haes	16	15	94%
Ronnie Melton	16	16	100%
Mike Scofield	16	15	94%
Total	120	98	82%

Zero (0) indicates missed meeting one (1) indicates meeting was attended

X denotes that a meeting was not held due to a lack of applications.

A blank space denotes that the township was vacant.

2013 BOARD OF ADJUSTMENT MEETING ATTENDANCE

The Board of Adjustment held seven (7) public hearings through the course of the year. Board members continued to maintain their excellent record of participation with an average of 81% attendance at all meetings. Not included in these hours is travel time to and from meetings.

2014 BOARD OF ADJUSTMENT ATTENDANCE

NAME	JAN	FEB	MAR	APR	MAY	JUN	JULY	AUG	SEP	OCT	NOV	DEC	Mtgs
	15	19	19	16	21	18	16	20	17	15	19	17	7
Shawn Pingleton	X	1	X	1	1	X	1	X	X	1	1	1	7
Tom Gideon	X	0	X	1	1	X	1	X	X	1	1	1	6
Tony Mullen	X	1	X	1	1	X	1	X	X	0	1	0	5
Mark Weisz	X	1	X	0	1	X	1	X	X	1	1	1	6
David Nelson	X	1	X	1	0	X	0	X	X				2

	Mtgs	Att.	%
Dave Clemenson	7	7	100%
Tom Gideon	7	6	86%
Tony Mullen	7	5	71%
Mark Weise	7	6	86%
David Nelson	4	2	50%
Total	32	26	81%

Zero indicates missed meeting 1 indicates meeting was attended

X denotes that a meeting was not held due to a lack of applications.

A blank space denotes a vacancy.

DEPARTMENTAL STAFFING

The Planning Department operated throughout the year with a total of five (5) staff members. In 2014 the Taney County Planning Department staff consisted of the following:

- ❖ **Bob Atchley**
Planning Administrator
- ❖ **Bonita Kisse**
Administrative Assistant
- ❖ **Marla Pierce**
Secretary
- ❖ **Scott Starrett**
Division I & II Inspector / On-site Wastewater Permitting
- ❖ **Mike Cole**
Water Quality Laboratory Director

FIVE YEAR PLANNING DEPARTMENT APPLICATION SUMMARY

APPLICATION TYPE						
	2010	2011	2012	2013	2014	% Change from 2013
Division III Permits	30	29	25	26	12	-54%
Division II Permits	17	32	23	52	58	12%
Division I Permits	204	159	154	174	170	-2%
BOA Applications	13	19	12	14	9	-36%
Land Disturbance Permits	11	8	11	5	2	-60%
Final Plats	18	18	14	11	6	-45%
Replats	7	8	7	24	19	-21%
Amended Plats	9	17	10	1	0	-100%
Minor Subdivisions	17	14	16	8	17	113%
Floodplain Permits	0	0	0	1	1	0%
On-Site Wastewater Permits	0	8	32	62	51	-18%

PERMIT SUMMARY:

❖ Division III Permits

In 2014 the Planning Department received a total of twelve (12) Division III Permit applications. Of the total number of Division III Permit applications received eight (8) were approved, two (2) were denied, one was found to be exempt (agricultural use) and one (1) was initially tabled. In 2014 the number of Division III applications received by the Planning Department decreased by 54% when compared with the total numbers processed in 2013 (Twenty-six (26) Division III Permit Applications were received in 2013). Please note that a complete listing of the Division III Permits for 2014 may be found in Appendix A.

❖ Division II Permits

In 2014 the Planning Department issued a total of fifty-eight (58) Division II Permits for the construction of commercial, industrial, institutional, duplex, multi-family, school and church structures. The number of Division II Permits issued in 2014 increased by approximately 12% from the number of permits that were issued over the same time period in 2013 (fifty-two (52) Division II Permits were issued in 2013). Please note that a complete listing of the Division II Permits for 2014 may be found in Appendix B.

❖ Division I Permits

In 2014 the Planning Department issued a total of one hundred and seventy (170) Division I Permits (with a single denial) for the construction of residential structures, residential additions, accessory structures in excess of 100 square feet in ground cover and the placement of mobile homes. The number of Division I Permits issued in 2014 decreased by approximately 2% from the number that were issued in the same time period in 2013 (174 Division I Permits were issued in 2013). Please note that a complete listing of the Division I Permits for 2014 may be found in Appendix C.

❖ Land Disturbance Permits

In 2014 there were a total of two (2) Land Disturbance Permits that were issued for various development proposals which required the disturbance of over one acre of land. The number of Land Disturbance Permits issued in 2014 decreased by approximately 60% from the number that were issued during the same time period in 2013 (five (5) Land Disturbance Permits were issued in 2013). Please note that a complete listing of the Land Disturbance Permit for 2014 may be found in Appendix D.

❖ Plat Review

In 2014 the Planning Department processed a total of forty-two (42) plat applications. Of the forty-two (42) total applications, six (6) plats were final plats, nineteen (19) were classified as replats and seventeen (17) were minor subdivision plats. The year 2014 saw a slight decrease of approximately 5% in the total number of plats processed over the amount processed over the same time frame in 2013 (44 plat applications were processed in 2013). Please note that a complete listing of Plats processed in 2014 may be found in Appendix E.

❖ On-Site Wastewater Permits

In 2014 there were a total of fifty-one (51) On-Site Wastewater Permits that were issued. Of the fifty-one (51) total applications, twenty (20) were for new basic systems, seven (7) were for alternative systems, nine (9) were for STEP system, fourteen (14) were for tank replacement and one (1) was for a lagoon. Please note that sixty-two (62) On-Site Wastewater Permits were issued in 2013, a decrease of approximately 18%. Please note that a complete listing of the On-Site Wastewater Permits for 2014 may be found in Appendix F.

❖ **Water Quality Sampling**

In 2014 the Laboratory Director completed a total of three hundred and four (304) stream sampling site counts, which were taken at specific locations upon lakes, rivers and streams throughout Taney County. In 2014 a total of seventy-one (71) potable drinking water (ground water wells) samples were taken and tested. Of the total seventy-one (71) samples that were tested, fifty-two (52) were found to be satisfactory and nineteen (19) were found to be unsatisfactory. Numerous complaints of sewer surfacing were investigated by Scott Starrett and Mike Cole throughout the year. The Water Quality Lab has the ability to perform fecal coliform testing, allowing for a determination to be made as to whether a health hazard exists. In 2014 four (4) fecal coliform tests were performed. Please note that a detailed listing of the stream sampling site counts, potable drinking water (ground water wells) samples and fecal coliform tests for 2014 may be found in Appendix G.

❖ **Board of Adjustment Requests**

In 2014 the Planning Department processed a total of nine (9) applications for appeal and variance requests. Of the nine (9) total applications, eight (8) were variance requests and one (1) was an appeal request. Of the eight (8) variance requests heard, six (6) were approved and two (2) were tabled. The single appeal case was denied. Please note that a detailed listing of the 2014 Board of Adjustment cases may be found in Appendix H.

ADDITIONAL DEPARTMENTAL FUNCTIONS & ACTIVITIES IN 2013

Floodplain Management

On April 1, 2004 the Taney County Commission adopted a Floodplain Management Ordinance and Flood Insurance Rate Maps (FIRM), ensuring that all property owners within the unincorporated area of Taney County are eligible for flood insurance via the National Flood Insurance Program (NFIP). Per the provisions of the Floodplain Management Ordinance the Planning Administrator is designated as the Floodplain Administrator for Taney County.

In April and May of 2011 two record flooding events ravaged areas of Taney County. In 2011 the Taney County Commission made the decision to assist nine (9) property owners whose properties were *substantially damaged* (FEMA defines substantial damage as damage in excess of 50% of the market value of the structure) during these two flooding events, by participating in a FEMA flood buyout via the Hazard Mitigation Grant Program (HMGP). The HMGP is a program only available to municipalities and county governments allowing for the County to apply on behalf of these impacted property owners. The HMGP is a Federal grant program that has paid for 75 % of all of the costs associated with the flood buyout. Taney County also applied and received approval from the Missouri Department of Economic Development (MoDED) for a Community Development Block Grant (CDBG) which was utilized to pay for the 25% required non-Federal match.

After 3 ½ years, Taney County has finally successfully closed out the FEMA HMGP grant. The staff is hopeful that we will be able to close out the MoDED CDBG in the coming weeks. The final remaining step in the HMGP and CDBG processes will be a required single audit of each grant program.

APPENDIX A



TANEY COUNTY PLANNING COMMISSION

P. O. Box 383 • Forsyth, Missouri 65653
Phone: 417 546-7225 / 7226 • Fax: 417 546-6861
website: www.taneycounty.org

DIVISION III PERMITS 2014

Permit #	Date	Name	Type	Action
14-1	4-21-14	John Padgett	Barn	Exempt
14-2	4-21-14	Allstar Intl. LLC	Nightly Rental	Denied
14-3	4-21-14	Walkington Affordable Housing	MHP	Denied
14-4	6-16-14	Warakomski Tower	cell tower	approved
14-5	9-15-14	Creation Museum	gospel Ministry	approved
14-6	9-15-14	Saints St. Apts.	Disabled Apts.	Approved
14-7	10-20-14	Sams Nightly Rental	nightly rental	approved
14-8	10-17-14	Beeler House	nightly rental	approved
14-9	11-17-14	Thunderhead Point	cabins/ pool	approved
14-10	11-17-14	TC Outdoors	nightly rental	approved
14-11	1-20-15	Hickory Nut Hideaway	nightly rental	pending

APPENDIX B



TANEY COUNTY PLANNING COMMISSION

P. O. Box 383 • Forsyth, Missouri 65653
Phone: 417 546-7225 / 7226 • Fax: 417 546-6861
website: www.taneycounty.org

2014 DIVISION II PERMITS

<i>Permit #</i>	<i>Date</i>	<i>Name</i>	<i>Type</i>
14-1	1-9-14	Stonegate Chapel	restrooms etc.
14-2	2-20-14	Jerry Causey	storage buildings
14-3	3-20-14	Buffalo Ridge	golf club house renov.
14-4	3-27-14	Branson Dev. LLC	Clubhouse
14-5	3-27-14	Top of the Rock	Reg. Bldg. etc.
14-6	3-27-14	Ozarks Golf & Hunt Club	Clubhouse etc.
14-7	4-10-14	Jason Finley/Clint Kaston	Condos
14-8	4-24-14	Scooters	multi-use Bldg.
14-9	4-24-14	Layton Auto Service	Auto Service
14-9A	5-22-14	Tranquility Group	Timeshare
14-10	5-22-14	" "	" "
14-11	5-22-14	Top of the Rock	Deck
14-12	5-29-14	Branson Underground	Generator Enclosure
14-13	7-17-14	Silverleaf Resort	Pool Bldg.
14-14	6-26-14	Lake Taneycomo Woods	Clubhouse
14-15	7-3-14	Shaver Storage	Shed
14-16	7-10-14	Kids Across America	Addition to Bldg.
14-17	8-21-14	Taney County	office/truck shed
14-18	7-10-14	Ginger LLC	exp. Manuf. Facility
14-19	7-31-14	Underhill Hts.	2 buildings
14-20	9-4-14	Mo. Am. Water	49x22 bldg.
14-21	9-4-14	Branson Hills Storage	mini-storage
14-22	9-18-14	Larry Snyder Co.	condos/lodge

14-23	9-25-14	Branson Pattern Works	rebuild burn out
14-24	10-2-14	Branson Upholstry	storage building
14-25	10-2-14	Twin Island Resort	Resort
14-26	10-16-14	Redbud Shores Est.	Carport
14-27	10-23-14	Two Brown Dogs	Office
14-28	10-23-14	White Oak Ventures	6578 sq. ft. Bldg.
14-29	10-23-14	Three Johns Co.	Cabins
14-30-40	10-23-14	"	"
14-41	10-3-14	Green/Phillips	Food Pantry storage
14-42	10-30-14	Kanakuk	exercise room/stor.
14-43-46	11-20-14	L&J Log Cabins	Cabin
14-47-53	12-18-14	Natl. inst. Of Marriage	cabins
14-54	12-24-14	North Pointe Dev.	Nightly rentals

APPENDIX C

170 PERMITS TOTAL

171 PERMITS 1= DENIED

2014 Division I Permits

Permit #	Date	Name	911 Address	Structure/Size
14-001	1-13-14	TERRY GENTLE	2275 SA HWY D	60X60 GARAGE
14-002	1-6-14	Rebecca Tate	1320 KEITZLEY RD	24X24 CABIN
14-003	1-22-14	JENNA TIEFRIJ	434 RIDGVIEW	SFH 2500 SQFT
14-004	1-13-14	TRAVIS HEIER	434 Newbury RD	SFH 2262 SQFT
14-005	1-16-14	MARK SCHODER	534 HILLCREST	24X24 Garage
14-006	1-16-14	TODD SHUMER	344 CLOVER TRL	40X60 Shop
14-007	1-22-14	MICHAEL SUTTER	1023 CLEVINGER COVE	30X40 Garage
14-008	2-5-14	TURNER Res. Property	321 SOUTH WOODS WAY	3210 SQ FT SFH
14-009	2-5-14	TURNER Res. Property	343 SOUTH WOODS WAY	3200 SQ FT SFH
14-010	DENIED	SMBZ	172 MOBERLY MILL RD	2000 SQ FT SFH
14-011		Alicia Caperton	2721 BEAR CREEK	30X40 SHOP 24X40 SFH
14-012	2-20-14	Branson Land	171 WINDRIDGE	39X53 SFH
14-013	2-21-14	Pamela Pfommer	2528 SA HWY KK	14X70 MAT

2014 Divis. In I Permits

14-014	2-27-14	Sprint	5586 W. SATHURAY 76	10X15 PAD
14-015	3-5-14	JESSE ELLIS	3.25 Petunia St	18X21 Carport
14-016	4-2-14	R. L. COX Lot Tech	156 LILAC	16X80 MH
14-017	3-28-14	CERRETTI CONST.	142 OZARK VIEW	SFH 1800 SQFT
14-018	3-20-14	LEONARD GASS	1791 FRUITFARM	SFH 1296 SQFT
14-019	3-20-14	LARRY GOODMAN	132 DOVE CT	1600 SQFT SFH
14-020	3-25-14	DENISE ALDRIDGE	648 CRAWLEY WAY	24X41 Carport
14-021	4-1-14	DAVID BURKS	261 SUNDAY MTN	14X33 Deck
14-022	4-2-14	SMBZ	482 DAKBROOK	56X40 SFH
14-023	4-25-14	SMBZ	213 EVERETT MILL	59X56 SFH
14-024	10-28-14	CHARLES SMITH	185 WAVERLY	12X18 Shed
14-025	4-3-14	TRENTON EDWARDS	132 TIMBERLAND LN	880 SQFT SFH
14-026	4-3-14	ANTHONY ALEXANDER	330 DEVILS POOL	30X40 Garage

2014 Division I Permits

14-027	4-7-14	MICHAEL WANNER	952 HULLS FORD	30x24 Garage
14-028	4-7-14	BRANSON LAND	221 WINDRIDGE	39x53 SFH
14-029	4-17-14	DENNIS Huber	135 1st terrace	15x68 MIT
14-030	4-9-14	DONALD HOPKINS	351 HONEY LN	18x21 GARAGE
14-031		SANDRA Burch	129 3rd st	10x12 shed 12x32 SFH
14-032	4-16-14	SHAWN Pingleton	1470 SHADY RAPIDS	ADDITION 900 SQ FT
14-033	4-11-14	GEORGE GOINS	782 Clearwater	SFH 1415 SQ FT
14-034	4-10-14	ROBERT HAILS/Stillwater	221 GEYSER LN	SFH 1976 SQ FT
14-035	4-15-14	MARY JENKINS	102 Susan	40x40 Garage
14-036	4-14-14	RICHARD WATERS	140 BEAVER PASS	STORAGE Bldg 20x41
14-037	4-14-14	PHILLIP MCGREGOR	259 FAGAN DR	SFH 7700 SQ FT
14-038	4-24-14	MILTON BLOWERS	7946 St Hwy 248	16x8 Well House 70x14 MIT
14-039	4-16-14	RANDY IRWIN	252 MAPLE ST	12x16 Deck

2014 Division I Permits

14-040	4-16-14	RODNEY TATUM	200 Gloria	16x30 Carport
14-041		MARY FETNER	250 Hampton Rd	Special Event Haunted House
14-042	4-17-14	SMBZ CONST.	170 EVERETT Mill	59x52 SFH
14-043	4-22-14	Dane Schwartz	591 Jessi Rd	30x40 Pole Barn
14-044	4-22-14	Paul Krueger Consts JOHN MAXWELL	1644 Blair Ridge Rd	44x54 SFH
14-045	4-24-14	JOHN MAY	2415 Moore Bend	8x76 Porch
14-046	5-1-14	SMBZ CONST.	112 E. MARION LN	39x53 SFH
14-047	4-24-14	Quality Built Const. Damon WALSER	228 Ozark Rd	2550 SFH
14-048	4-24-14	JAMES HABEN	188 MAPLE	16x80 MH
14-049	5-1-14	LAMONT EDWARDS	450 N Emory Creek	44x32 = SFH 10x12 = (2) Sheds
14-050	5-1-14	Wanda Whittaker	1287 Kentucky Hollow Rd	24x40 MH
14-051	5-7-14	TURNER Res. Prop.	1368 Emory Creek Blvd	SFH 3356 SQ FT
14-052	5-7-14	TURNER Res. Prop.	223 South Woods Way	SFH 3356 SQ FT

2014 Divis. I Permits

14-053	5-7-14	TURNER RES. PROP.	307 S. South Woods Way	SFH 3214 SQ FT
14-054	5-1-14	Tommy Muller	3037 St Hwy M	18x36 Carport
14-055	5-2-14	HAGSTON HOMES	562 IOWA COLONY RD	52x49 SFH
14-056	5-5-14	Mike Walker	1189 AB FINE RD	26x30 Carport
14-057	5-5-14	ERICK WALKER	8253 US HWY 160	20x20 Pavillion 18x45 Carport
14-058	5-6-14	EDWARD FLOWERS	142 BEE HIVE	18x32 Carport
14-059	5-12-14	MASTERPIECE DESIGN	130 JACKS WAY	SFH 2000 SQ FT
14-060	5-20-14	WILLIAM DAVIS	1927 LONE PILGRIM RD	40x64 Garage
14-061	5-23-14	GERALD LIPCHIK	185 JELLYSTONE	16x15 Deck
14-062	6-3-14	GERALD ONEY	537 WOLF RD	40x40 SFH
14-063	6-3-14	GERALD ONEY	667 WOLF RD	70x30 SFH
14-064	6-3-14	KIRK SCHOTT	152 RODGERS	STORAGE 12x32 Bldg
14-065	6-5-14	MASTERCRAFT CUSTOM	511 NEWBURY	4500 SFH

2014 Division I Permits

14-066	6-12-14	CHERYL PRESTON	705 WATSON RD	Shop/Living 30x50
14-067	6-11-14	MATT McDOWELL	128 Southview Dr	16x20 Deck
14-068	6-11-14	CHRISTY KAWABATA	203 Forest Park Ln	ADDITION TO 10x34 Park model
14-069	7-16-14	BILL MAJORS	258 Goodnight Hollow	1824 SFH
14-070	6-12-14	PETRA HOMES TODD BAKER	106 Red Fox Way	SFH 4200 SQ FT
14-071	6-12-14	(SMBZ) DURRELL OLESEN	623 Iowa Colony	39x52 SFH
14-072	7-28-14	SMBZ	181 WIND RIDGE	44x47 SFH
14-073	7-28-14	SMBZ	440 Spring Meadow	53x39 SFH
14-074	6-17-14	Stillwater Const. MELODY TOLENTINO	150 REINDEER	SFH 1000 SQ FT
14-075	6-30-14	Masterpiece Design	181 SPENCER	SFH 1800 SQ FT
14-076	6-30-14	Masterpiece Design	250 SPENCER	SFH 1900 SQ FT
14-077	6-26-14	KENNETH YATES	110 CARDINAL	Garage 30x40
14-078	7-7-14	MAX SIMMONS	215 Southview	16x40 Deck

2014 Divis. In I Permits

14-079	7-10-14	ROSS TRAILERS DEANNA HUDSON	365 DORA	12x32 Shed
14-080		7m Holding	112 Thunder Ridge Ct	SFH 1488 SQ FT
14-081		7m Holding	122 THUNDER RIDGE CT	SFH 1968 SQ FT
14-082	7-14-14	ROSS LAUCK	326 JELLYSTONE	14x20 Carpet
14-083	7-14-14	MAURICE BOOTH	2619 Forsyth Tamey Rd	30x50 Garage
14-084	8-6-14	RONALD BLEVINS	200 Bear Rd	SFH + Barn 2500 SQ FT
14-085	7-22-14	Debbie Schwab	3100 STETTLE RD	30x30 SFH
14-086	7-22-14	B. JOHNSON	172 MO. BEND	24x10 Shed
14-087	7-22-14	CHRIS KRISTEK	1850 Fruit Farm	48x28 SFH
14-088	7-22-14	Robert Redford	3064 US Hwy 160	12x24 Shed
14-089	7-28-14	LINDA BOKEL	331 LEMON WOOD	SFH 2175 SQ FT
14-090	7-28-14	MARK BRIDGES	140 CHESTNUT	12x32 Cabin
14-091	7-25-14	TAMBRIA SPICER	1768 Buena Vista	ADDITION to SFH Garage + Porch

2014 Divis. on I Permits

14-092	7-28-14	Dale McSnead	373 CEDAR VALLEY	30x50 SFT
14-093	7-28-14	Dan Smith	367 CEDAR VALLEY RD	30x50 Garage 35x50 SFT
14-094	7-31-14	Turner Res.	2324 Emory Creek	65x52 SFT
14-095	10-10-13	Bryant Edgeman	1051 Mohr Rd	16x80 MR
14-096	8-4-14	Brad Sutford	990 Newbury Rd	2600 SQ FT SFT
14-097	8-1-14	Charles Rome	2333 Barney	20x16 SFT
14-098	8-5-14	Mike Van Trump	2360 Acacia Club	12x21 Garage
14-099	8-8-14	Graig HUDSON STREMLINE Bldgs. OZARK MTRN Homes	291 North Ridge Pl	1675 SQ FT SFT
14-100	8-8-14	Trent CHRISTENSEN STEVE MATLOCK (Belle)	266 Turkey Trl	2903 SQ FT SFT
14-101	8-8-14	TRAVIS GATHAM	130 Summerbrook	8000 SQ FT SFT
14-102	8-7-14	Trent EDWARDS	75 Paradise	40x60 Shop
14-103	8-21-14	Harold Gross	298 Collins Rd	40x60 Shed
14-104	8-12-14	Trent EDWARDS	639 N Emory Creek	11x22 Shed

2014 Division I Permits

14-105	8-28-14	SMBZ	130 Fisher Spring	69x58 SFT
14-106	8-12-14	CASSIDY HARDESTY	328 SUNNY BROOK	19x44 Deck
14-107	8-14-14	MELVA EPPS	7231 E State Hwy 76	CARPORT 25x26
14-108	8-14-14	GENE DE NEEF	123 CURTIS	ADDITION 22x24
14-109	8-14-14	BRIAN RIDINGER	475 Fruit Farm Rd	30x75 SFT
14-110		DICK SCOTT	147 MACK LN	SFT 1000 SQ FT
14-111	9-25-14	EDWARD KRIESER	597 Round MTN Rd	GUEST HOUSE 52x28
14-112	9-10-14	DANNY SPIKER	140 FAIRLANE DR	GARAGE 28x23
14-113	8-26-14	TODD BRADEN	3380 VICTOR CHURCH	1700 SQ FT SFT
14-114	8-28-14	AILENE BROWN	31294 US Hwy 160	30x45 SFT
14-115	8-28-14	RICK RIKARD	110 METCALFE	30x30 GARAGE
14-116	9-9-14	Sharon A. Bredge	155 Golden	14x66 MA 16x16 CARPORT
14-117	9-4-14	Patricia MANGRUM	125 SUNDAY MTN PARK	CARPORT 12x20

2014 Division I Permits

14-118	9-4-14	Howard DeRose	171 Holly St	12x20 Shed
14-119	9-9-14	Robert Johnson	130 Dulcimer	16x24 Shed
14-120	9-12-14	MAKERPIECE BLDGS	260 Spencer	SFH 1935 SQ FT
14-121	9-25-14	MAKERPIECE BLDGS	840 Long Creek	40x60 SFH
14-122	9-12-14	JAMES SLATER	354 Roundhill	TEMP 16x16 SFH
14-123	9-19-14	JOE STONE	410 Ridgeview	48x50 SFH
14-124		Cheryl Preston	707 Watson Rd	SFH 1500 SQ FT
14-125	9-22-14	Bill Matlock	112 Millstone Ct	SFH 2659 SQ FT
14-126	9-16-14	TERRY WHORTON	3201 E. St Hwy 76	ADDITION TO SFH + GARAGE
14-127	9-19-14	Paul Deck	113 TUCKER COVE	GARAGE 32x35
14-128	9-22-14	SMBZ	464 OAKBROOK	56x40 SFH
14-129		NEED FLOOD PERMIT. Gary Loyd	415 FOGGY RIVER	30x60 Garage
14-130	9-19-14	RODOLFO ARAMBULO	740 Royal Oak	SFH 3589 SQ FT

2014 Division I Permits

14-131	9-19-14	FLOYD ELLIOTT	147 Orlando	Carpport 18x21
14-132	9-24-14	CHARLES FOWLER	1083 MELODY MTN RD	30x40 Garage
14-133	9-26-14	DONALD FOWLER	212 Cardinal Rd	16x26 Addition
14-134		ROBERT SKINNER	531 DIXIE HATS RD	Two Carports 18x40 18x25
14-135	9-30-14	DENA JONES	130 MINNOW ST	10x16 shed
14-136	9-30-14	ALBERT WILLARD	122 NORTHWOODS TRL	24x30 Garage
14-137	10-6-14	CHARLES STEELE	119 Stonegate	38x60 Garage
14-138	10-7-14	RICHARD PRICE	269 Cactus	RV 20x31 COVER
14-139	10-9-14	DAN KIRKENDALL	150 BEERFIELD LN	12x32 shed
14-140	10-16-14	Y. DAVID CLARK	195 SHADY LN	30x40 Shop
14-141	10-15-14	SHIRLEY KEYS / NORTH BENTLEY	3035 E St Hwy 76	16x16 Shop
14-142	10-17-14	TODD BAKER / seaside Pools	106 Red Fox	17x40 Pool
14-143	10-21-14	RICHARD WATERS	275 Rabbit	14x16 ADDTN

2014 Division I Permits

14-144	10-22-14	JOHN MIDDAUGH	317 HOLSTEIN	16x20 shed
14-145	10-21-14	CATHERINE BROWN	145 RABBIT	12x16 Deck
14-146	10-23-14	BRENDA MARSHALL	342 AMHERST	CARPET 21x22
14-147		COLLEEN FLOOD GUY BRILEY	785 ROYAL OAK DR.	Garage 12x24
14-148	11-12-14	BROWLEE HOLDING	1584 EMORY CREEK BLVD	SFH ^{SQ FT} 1831
14-149	10-29-14	CAROLYN ROBERTS	21297 E STATE HWY 76	SFH 2240 SQ FT
14-150	10-28-14	CARL COWAN	122 JOANNAS WAY	12x26 Carpet
14-151	11- -14	SCOTT BROCKMAN	450 STATE HWY 160	SFH 42x115
14-152	11-14-14	STILLWATER CONST DAVID McCORKEN DALE	121 BLUSH AVE	Garage 30x35
14-153	11-14-14	STILLWATER CONST. DENNIS THOMPSON	324 SUNDAY MTN PASS	17x18 Carpet
14-154	11-4-14	STILLWATER CONST. L. THOMAS DUVALL	280 SUNDAY MTN PASS	Room ADD. 300 SQ FT
14-155	12-8-14	GUY JOHNSTON	228 AUTUMN LN	SFH 2000 SQ FT
14-156	11-12-14	ZMBZ	191 WINDRIDGE. RD	SFH 44x47

2014 Division I Permits

14-157	11-19-14	RON'S TRAILERS	234 Sundae MTN	Carport 22x39
14-158	11-19-14	RON'S TRAILERS	207 Rabbit	Carport 24x34
14-159	12-3-14	RICK HARRISON	8509 E. ST HWY 76	Garage 23x23
14-160	12-5-14	TOM WASMER	152 SPENCER	ADDITION 27x14
14-161	12-12-14	CHARLES FRITCHER	150 POISON IVY	18x20 CARPORT
14-162	12-17-14	JOHN FELLIN	164 BLUSH	20x8 Deck
14-163	12-17-14	ROBERT BALDWIN	1022 PARKVIEW	42x60 Garage
14-164	12-18-14	GENE GIVAN	276 FRIEND DR	20x28 ADDITION
14-165	12-29-14	MASTERCRAFT CUSTOM	629 Crescent DR	4500 SQ FT SFT
14-166	12-29-14	MASTERCRAFT CUSTOM	412 Fiat Road	5000 SQ FT SFT
14-167		SMBZ	104 Timber WOLF	30x30 Shop 42x56 SFT
14-168	12-29-14	Branson Land	441 Spring meadow Hwy	39x53 SFT
14-169	12-30-14	William Davis	1927 Lone Pilgrim Rd	MH 16x80

2014 Division I Permits

14-170	12-31-14	BILL MARTINKA	334 WINKLE	15x20 Shed
14-171	12-31-14	STEVE BOEDFELD ROLLAND FRANCIS	535 BRUNSWICK	35x25 SFT
14-172				
14-173				
14-174				
14-175				
14-176				
14-177				
14-178				
14-179				
14-180				
14-181				

APPENDIX D

2 LG Permits

P&Z Land Grading Permits 2014

Permit #	Applicant	Bond Amount	Date Released
14-01LG	Bluegreen / Paradise Point	Cash:	
	2.7 AC	LOC:	
Date: 8-12-14	Parcel #: 19-1.0-02-003-001-004.000	Performance Bond: 2300.00	
14-02LG	TAXEV Co. Reg. SEWER DIST.	Cash:	
	MULTIPLE PROPERTIES 3.75 AC.	LOC:	
Date: 9-3-14	Parcel #: NEC / ST HWY 76 AREA	Performance Bond: X	
14-03LG		Cash:	
		LOC:	
Date:	Parcel #:	Performance Bond:	
14-04LG		Cash:	
		LOC:	
Date:	Parcel #:	Performance Bond:	
14-05LG		Cash:	
		LOC:	
Date:	Parcel #:	Performance Bond:	
14-06LG		Cash:	
		LOC:	
Date:	Parcel #:	Performance Bond:	

APPENDIX E

FINAL PLATS

DATE	PERMIT #	PROJECT NAME	CUSTOMER NAME	SEC-TWN-RNG / DESCRIPTION
2/28/14	20140001	The Provence Condo Unit 7	Clinton Kasten	S-10, T-21N, R-22W
2/28/14	20140002	The Provence Condo Unit 8	Clinton Kasten	S-10, T-21N, R-22W
5/1/14	20140003	Underhill Heights	Charles Ingram	S-5, T-23N, R-21W
7/17/14	20140004	Branson Canyon Condo Unit 20	Philip Lopez	S-36, T-22N, R-22W
8/21/14	20140005	Branson Canyon Condo Unit 21	Philip Lopez	S-36, T-22N, R-22W
12/3/14	20140006	Trophy Run Fractional Condo Phase 14	Ross Summers	S-23, T-20N, R-22W
	20140007			
	20140008			
	20140009			
	20140010			
	20140011			
	20140012			
	20140013			
	20140014			
	20140015			
	20140016			
	20140017			
	20140018			
	20140019			
	20140020			
	20140021			
	20140022			
	20140023			
	20140024			
	20140025			
	20140026			
	20140027			

REPLATS

DATE	PERMIT #	PROJECT NAME	CUSTOMER NAME	SEC-TWN-RNG / DESCRIPTION
1-13-2014	20140001	Branson Canyon Condo ^{Unit 36}	Scott & Toni McClare	S-36 - T22N - R22W
1-22-2014	20140002	Steele Subdivision ^{Replat of Lakewood}	Charles & Beverly Steele	S-5 - T23N - R20W
3-11-2014	20140003	Pond - Erosa Heights	Tom Motley	S-12 - T22N - R21W
3-28-2014	20140004	^{Lot 30} Holiday Hills & Tanycome Park	Kevin Brown	S-15 - T23N - R21W
4-1-2014	20140005	^{Lot 1892} Ozark's Paradise Village	Anthony & Susan Alexander	S-7, T21N, R21W
5-19-2014	20140006	ReConstructed Majestic Condos	Dan Ruda & Frank Ricchia	S-10, T22N, R22W
5/29/2014	20140007	Emory Creek Ranch, Phase 1	Craig Hudson	S-25, T24N, R22W
6/5/2014	20140008	Branson Warehouse Center ^{lot 12}	Kevin Barrows	S-16, T23N, R21W
6/5/2014	20140009	Ozark Acacia Club Grounds	Dr. Ketter	S-18, T22N, R21W
6/17/2014	20140010	Park View Beach ^{lots 9, 10 & 11}	Martin & Carolyn Smolik Rusk & Reed	S-27, T22N, R22W
7/1/2014	20140011	Peter Swan Sub ^{Plot 2, 3 & 4}	Dale & Carol McDonald Doray & Martha Smith	S-29 & 30, T22N, R21W
7/11/2014	20140012	Goodnight Hollow ^{Lot 344}	Bill & Kelly Majors	S-16, T24N, R21W
7/25/2014	20140013	Dancing Subdivision ^{lots 2 & 4}	Suzette Branner	S-28, T23N, R21W
9/24/2014	20140014	Big Bear Estates ^{lots 28 & 29}	Carol Shriver	S-36, T23N, R22W
9/25/2014	20140015	Gaar Acres ^{lot 2}	Diane Gaar	S-22, T24N, R21W
12/3/2014	20140016	Yogi Bear Jellystone Park ^{unplatted portion}	Joe & Judy Black	S-01, T21N, R22W
12/4/2014	20140017	Paradise Point Resort ^{Parcels A & B}	David Pontius	S-3, T21N, R22W
12/11/2014	20140018	Parkview Beach ^{lots 7 & 8}	Robert & Cynthia Baldwin	S-27, T22N, R22W
12/29/2014	20140019	Cross Creek Centre ^{lot C12}	Jacob Stauffer / GGW Investments	S-34, T23N, R21W
	20140020			
	20140021			
	20140022			
	20140023			
	20140024			
	20140025			
	20140026			
	20140027			

MINOR SUB

DATE	PERMIT #	PROJECT NAME	CUSTOMER NAME	SEC-TWN-RNG / DESCRIPTION
2/11/14	20140001	Jakes Cove Subdivision	Afchar, Texas MSJ Investments Berk Wagner	S-16, T22N, R21W
3/21/14	20140002	Everett Lee McFarland Sub	Everett Lee & Melissa Ferrar McFarland	S-16, T22N, R21W
4/14/14	20140003	Mountain Vista Retreat	Cheryl Preston & Robby J. Gates	S-1, T23N, R22W
4/16/14	20140004	Caperton Heights	Clinton & Alicia Caperton	S-13, T24N, R22W
6/31/14	20140005	The Cabins at Maple Rock	Todd & Kimberly Braden	S-6, T23N, R21W
6/16/14	20140006	Branson Sports Club	Kerry Morrison	S-8, T23N, R21W
6/27/14	20140007	Jones Acres	Silas & Wanda Jones	S-24, T21N, R22W
7/17/14	20140008	Ridinger Acres	Brian & Sunshine Ann Ridinger	S-6, T21N, R21W
7/30/14	20140009	Sulgrove - Van Kirk Sub	Allen & Glenneda Sulgrove	S-23, T24N, R19W
8/18/14	20140010	Eckart Subdivision	George Edward Eckart	S-33, T24N, R21W
8/29/14	20140011	Henderson Subdivision ^{lots} 8,9,10	Teri Dunn Glen Henderson	S-16, T22N, R21W
10/21/14	20140012	And E Minor Subdivision	Edward & Allan Wilson Trust	S-3, T23N, R21W
10/23/14	20140013	Back Creek Heights	Larry & Tami Simpson	S-11, T21N, R17W
10/22/14	20140014	View Enterprises Subdivision	Jim Schmig	S-9, T23N, R21W
10/23/14	20140015	Wyman Acres Subdivision	Elwood & Frances Wyman	S-2 & 11, T22N, R18W
10/24/14	20140016	Halvick Subdivision	Scerry & Karen Holvick	S-20, T24N, R20W
11/24/14	20140017	Lawson Subdivision	Nolan & Marilyn Lawson	S-27, T24N, R19W
	20140018			
	20140019			
	20140020			
	20140021			
	20140022			
	20140023			
	20140024			
	20140025			
	20140026			
	20140027			

APPENDIX F



TANEY COUNTY PLANNING COMMISSION

P. O. Box 383 • Forsyth, Missouri 65653
Phone: 417 546-7225 / 7226 • Fax: 417 546-6861
website: www.taneycounty.org

Taney County Planning,

This is the yearend report for 2014.

The following permits were issued for the following system type:

Basis system-	20
Alternative system-	7
STEP system-	9 (Septic Tank Effluent Pump setup tank to waste water plant)
Tank replacement only-	14
Lagoon-	1

The Onsite Authority also issued 9 NOV's (Notice of Violation) in 2014

SCOTT STARRETT
TANEY COUNTY PLANNING
417-546-7225- OFFICE
417-546-0764-MOBILE
417-546-6861-FAX
scotts@co.taney.mo.us

APPENDIX G

Taney County Water Quality Lab Yearly Totals: 2014

	Streams	Saddlebrooke	Total
January	22	3	25
February	23	3	26
March	24	3	27
April	22	3	25
May	23	3	26
June	23	3	26
July	22	3	25
August	21	3	24
September	21	3	24
October	22	3	25
November	23	3	26
December	22	3	25
	268	36	304

Parameters per site=12(304)= 3648 parameter tests this year

Taney County Water Quality Lab

Drinking Water Well results for 2014:

	Satisfactory	unsatisfactory	total
January	7	5	12
February	6	2	8
March	3	1	4
April	4	1	5
May	3	0	3
June	2	1	3
July	8	1	9
August	3	3	6
September	6	2	8
October	6	1	7
November	2	1	3
December	2	1	3
	52	19	71

Taney County Water Quality Lab Report: 2014

Fecal coliform tests for surface water contamination:

3/26/2014 Taneyville @ "Bud " Williams sinkhole <1/100ml cfu

4/17/2014 13518 US Hwy 160 Fitzpatrick's No flows noted

9/18/2014 Waterscape treatment plant tntc >300/100 ml cfu

(DNR violation resulted from this sample of treatment plant)

11/5/2014 Autumn Road 6000/100 ml cfu

(Violation from the results of this surfacing)

Cfu colony forming units

< less than

>greater than

Tntc too numerous to count

APPENDIX H



TANEY COUNTY PLANNING COMMISSION

P. O. Box 383 • Forsyth, Missouri 65653
Phone: 417 546-7225 / 7226 • Fax: 417 546-6861
website: www.taneycounty.org

BOARD OF ADJUSTMENT CASES 2014

<u>NUMBER</u>	<u>NAME</u>	<u>TYPE OF REQUEST</u>	<u>ACTION</u>
14-1 v	Carl Ross	Variance	Approved
14-1A	Steve Creedon	Appeal	Denied
14-2v	Dennis McClintic	Variance	Approved
14-3v	Ted Underhill	Variance	Approved
14-6	Brenda Marshall Billy Tsai	Variance	Approved
14-7v	George Cramer Gary Loyd	Variance	Tabled
14-8v	Doug Friedrichsen	Variance	Approved
14-10v	GGW Inv. Inc.	Variance	Approved
14-9v	Billy Grant Johnson	Variance	Tabled